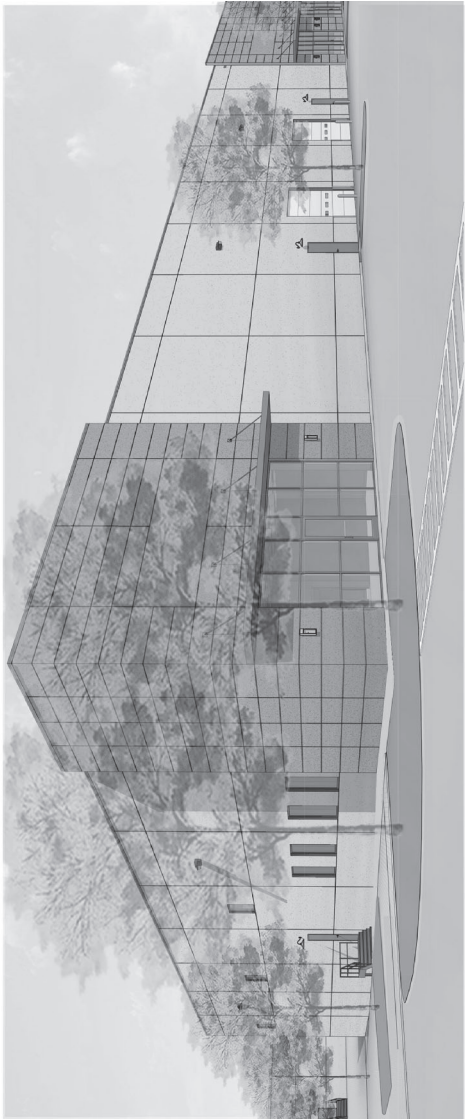




project number
19005
date
06.07.19

Beatty Palmer Architects, Inc.
1551 Clovis Barker Road
San Marcos, Texas 78666
Voice: 202.282.0202
Fax: 202.282.0202
www.bpalmer.com

© 2019 Beatty Palmer Architects, Inc. All rights reserved.
without prior written or recorded approval of Beatty Palmer Architects, Inc.

A1.0

BEATTY PALMER ARCHITECTS

BEARDEN
INVESTMENTS
CLOVIS BARKER
WAREHOUSE DEVELOPMENT
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

GENERAL NOTES

- SITE INFORMATION INCLUDING REQUIREMENTS FOR NEW CONSTRUCTION CONDITIONS, IS INCLUDED IN ALL PLANS AND ELEVATIONS. ALL CONSTRUCTION AND MEP DOCUMENTS, CAREFULLY COORDINATE WITH THE SITE INFORMATION, EXISTING CONDITIONS AND COMPLETED CONSTRUCTION.
- ALL NEW SURFACES ARE TO COMPLY WITH THE SLOPE REQUIREMENTS OF THE SLOPE INDEX OF 2% IN THE DIRECTION OF DRAINAGE. ALL EXISTING LANDSCAPES REQUIRE A SLOPE GREATER THAN 2% IN THE DIRECTION OF DRAINAGE. ALL EXISTING CONFORMANCE WITH THE REQUIREMENTS MUST BE PROMPTLY REMOVED AND CORRECTED BY THE EXISTING AND NEW GRADING INFORMATION IS DIAGRAMMATIC. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS AND REPORT ANY SIGNIFICANT VARIATION FROM THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE TO FACILITATE FIELD VERIFICATION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A REGISTERED PROFESSIONAL LAND SURVEYOR TO VERIFY EXISTING GRADING CONDITIONS AND TO GRADING INFORMATION. REFER TO CIVIL FOR REQUIREMENTS.

Note: The San Marcos fire Department recently conducted a Civic Center loop. The fire tower a single 2.5 inch hydrant. This is a site note to be used as follows:

1/2" line parallel to Clovis Barker
 Station: 8
 Residual with one hydrant flowing: 80
 P101 on first hydrant: 46
 P101 on second hydrant: 64

24" line perpendicular to Clovis Barker
 Residual with one hydrant flowing: 78
 Residual with two hydrant flowing: 74
 P101 on first hydrant: 48
 P101 on second hydrant: 68



**CLOVIS BARKER
WAREHOUSE
DEVELOPMENT**
 1551 CLOVIS BARKER ROAD
 SAN MARCOS, TEXAS 78666

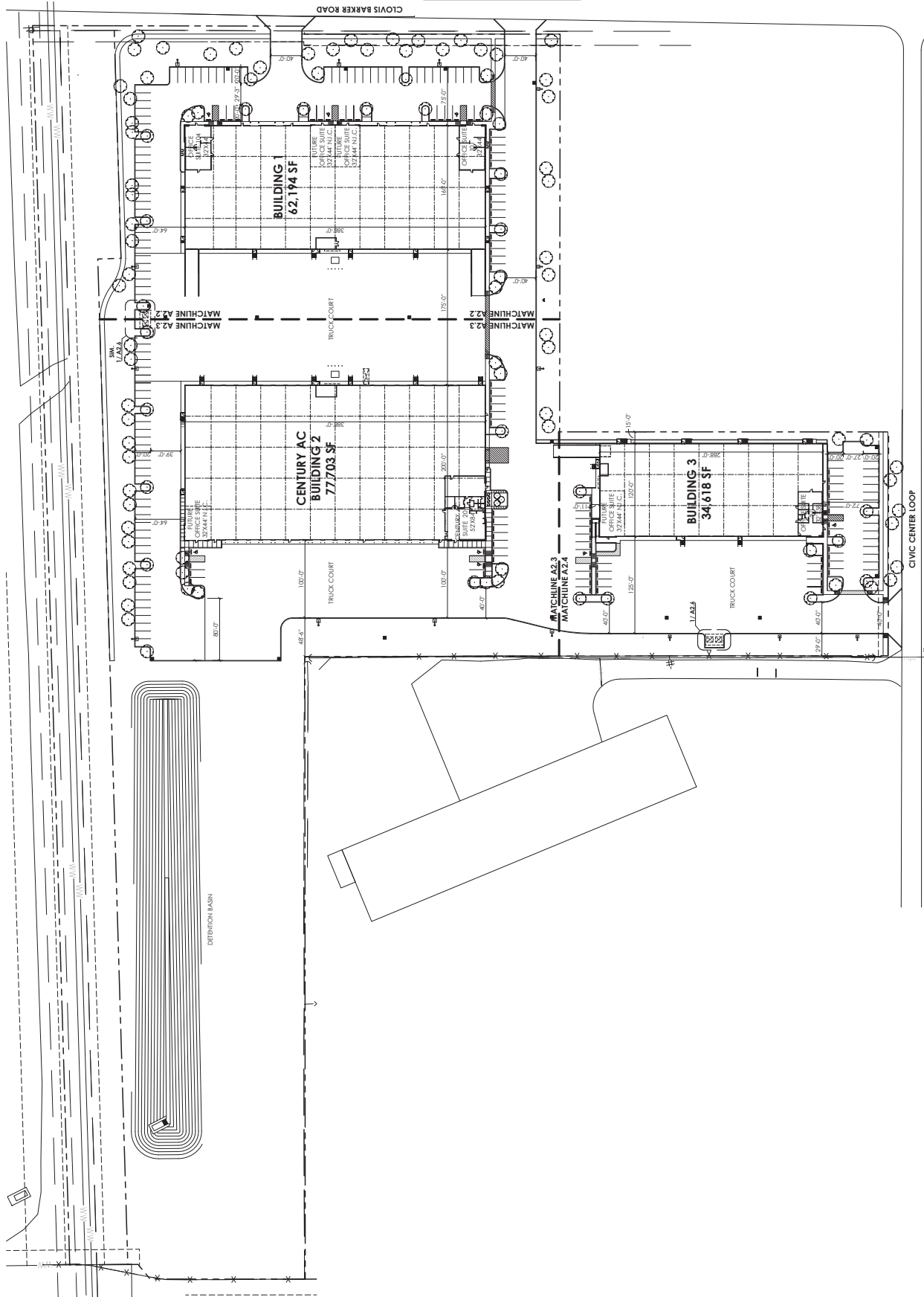
BEARDEN INVESTMENTS

project number: 2012.02.0002
 date: 06.07.19
 drawn by: JWP
 checked by: CWH

sheet number: A2.1
 Beatty Palmer Architects, Inc.
 1515 W. Loop West, Suite 200
 San Antonio, Texas 78205
 Voice: 210.212.8022
 Fax: 210.212.8022
 www.beattyplmer.com

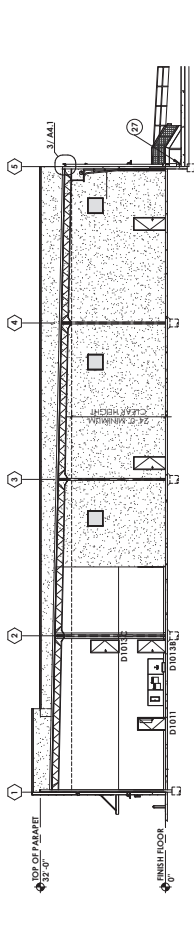
© 2019 Beatty Palmer Architects, Inc. All rights reserved. No part of this document may be reproduced without prior written permission of Beatty Palmer Architects, Inc.

1 OVERALL SITE PLAN
 1" = 40'-0"

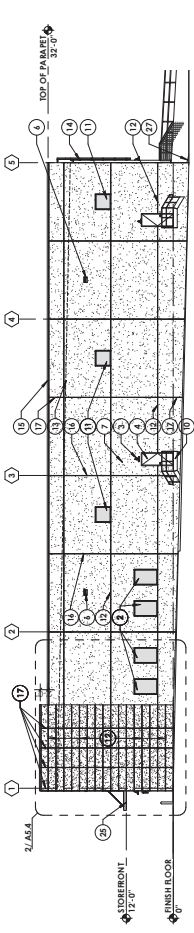


KEYNOTES

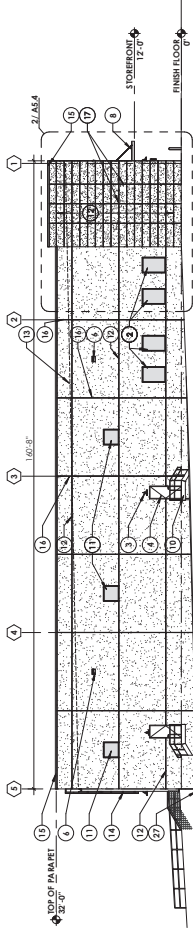
1. FINISHED METAL DOWNPOUT / TYPICAL
2. STOREFRONT SYSTEM WITH 1" GLAZING
3. ALUMINUM FINISHED LED LIGHT FIXTURE / REFER TO ELECTRICAL
4. PAINTED TUBULAR METAL DOOR & FRAME / REFER TO SPECIFICATIONS
5. PRE-ENGINEERED ALUMINUM CONNECTION / REFER TO AWP
6. WALL MOUNTED LED WALL PACK / TYPICAL
7. PRE-ENGINEERED ALUMINUM CANOPY ABOVE BY ARCHITECT
8. APPROVED EQUAL / ANCHORED TO CONCRETE
9. STEEL JOIST / PAINT / 2" X 8 EACH GRADE LEVEL
10. STEEL JOIST WITH STEEL HANDRAILS / REFER TO SITE SPECIFICATIONS
11. DETERMINE EXACT NUMBER OF RISERS REQUIRED / 4"
12. ALUMINUM & GLASS STOREFRONT SYSTEM WITH 1/2" GLAZING
13. HORIZONTAL REVEAL IN CONCRETE RETAIL PANEL
14. OSHA COMPLIANT FIBER WALL LADDER WITH PERSONAL FALL ARREST SYSTEM AND PARAMETER TURN LADDER
15. FINISHED METAL COPING / REFER TO DETAILS
16. VERTICAL REVEAL IN CONCRETE PANEL
17. VERTICAL LIFT OVERHEAD SECTIONAL DOOR / REFER TO DETAILS
18. STEEL DOWNPOUT BUMPER GUARD / TYPICAL
19. TPO ROOF SYSTEM
20. PARAMETER DOOR
21. PRE-ENGINEERED ALUMINUM CANOPY ABOVE BY ARCHITECT
22. CONCRETE RAMP WITH 2" DIA. 1/2" X 1/2" GALVANIZED
23. STEEL PIPE HORIZONTAL & VERTICAL RAILS
24. ALUMINUM TECHNIQUES WITH 1/2" X 1/2" GALVANIZED
25. RETAIL WALL / TYPICAL
26. MANUALLY OPERATED 3X DOOR LIFTER
27. TRUCK COURT DOOR / TYPICAL 8" TRUCK COURT DOOR



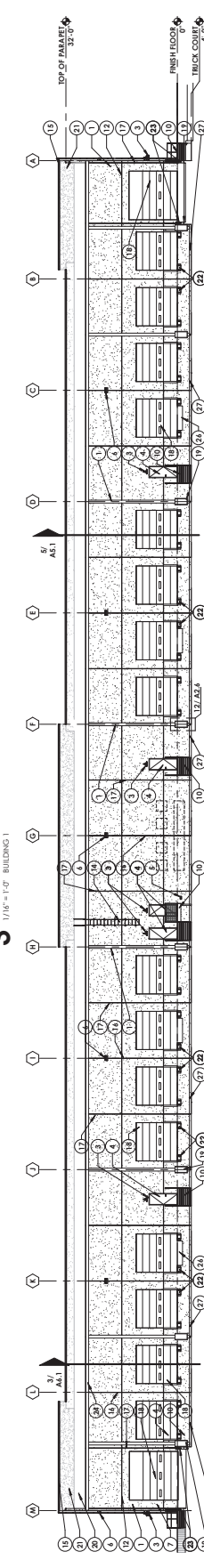
5 BUILDING SECTION
1/16" = 1'-0" BUILDING 1



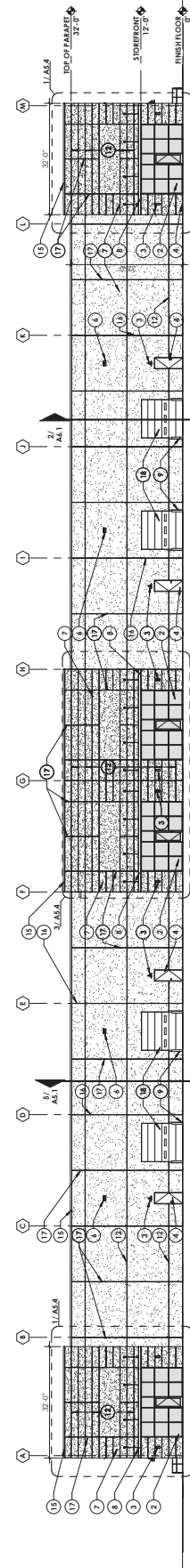
4 EAST ELEVATION
1/16" = 1'-0" BUILDING 1



3 WEST ELEVATION
1/16" = 1'-0" BUILDING 1



2 NORTH ELEVATION
1/16" = 1'-0" BUILDING 1



1 SOUTH ELEVATION
1/16" = 1'-0" BUILDING 1

architect



CLOVIS BARKER
WAREHOUSE
DEVELOPMENT
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666



drawn by
checked by
project number
date

sheet number
A5.1
www.beardypalmer.com

Beatty Palmer Architects, Inc.
5000 N. Loop West, Suite 1000
Houston, Texas 77005
Phone: 281.282.2222
© 2011 Beatty Palmer Architects, Inc. All rights reserved.
This drawing is the property of Beatty Palmer Architects, Inc.

1 SOUTH ELEVATION

1	PRESSED METAL DOWNSPOUT / REFER
2	PARTIAL HOLLOW METAL DOOR & FRAME /
3	WALL MOUNTED LIGHT FIXTURE / REFER TO
4	ELECTRICAL
5	STELTARS WHEEL HANDRAIL REFER TO SITE
6	TO OBTAIN SPECIFIC MANUFACTURER'S
7	INFORMATION. 2 MINIMUM 6" REBARS
8	HEIGHT
9	STEEL DOWNSPOUT BEARING GUARD /
10	WALL MOUNTED LIGHT FIXTURE / REFER TO
11	SPECIFICATIONS
12	HORIZONTAL REVEAL IN CONCRETE WALL
13	DOCK LUMBERS / 2 FEET OVERHEAD DOOR /
14	REFER TO DETAILS
15	CONTINUOUS GROUT
16	TEXTURE AND PAINT COLORS AS SELECTED
17	TYPICAL /
18	PRE-ENGINEERED ALUMINUM CANOPY ABOVE
19	APPROVED LOCAL / ANCHORED TO CONCRETE
20	TYPICAL /
21	STEEL STAIR WALKS 136" HIGH 1 1/4" SQUARE
22	ANCHORS TO DETERMINE FACTOR OF SAFETY
23	REQUIRED / 4 MINIMUM 6" MAXIMUM REBAR
24	PERSONAL CALL ARMED SYSTEM AND ARMED
25	24" X 12" SLOPED ROOF DOOR LEVELER
26	24" X 12" SLOPED ROOF DOOR LEVELER
27	24" X 12" SLOPED ROOF DOOR LEVELER
28	24" X 12" SLOPED ROOF DOOR LEVELER
29	24" X 12" SLOPED ROOF DOOR LEVELER
30	24" X 12" SLOPED ROOF DOOR LEVELER
31	24" X 12" SLOPED ROOF DOOR LEVELER
32	24" X 12" SLOPED ROOF DOOR LEVELER
33	24" X 12" SLOPED ROOF DOOR LEVELER
34	24" X 12" SLOPED ROOF DOOR LEVELER
35	24" X 12" SLOPED ROOF DOOR LEVELER
36	24" X 12" SLOPED ROOF DOOR LEVELER
37	24" X 12" SLOPED ROOF DOOR LEVELER
38	24" X 12" SLOPED ROOF DOOR LEVELER
39	24" X 12" SLOPED ROOF DOOR LEVELER
40	24" X 12" SLOPED ROOF DOOR LEVELER
41	24" X 12" SLOPED ROOF DOOR LEVELER
42	24" X 12" SLOPED ROOF DOOR LEVELER
43	24" X 12" SLOPED ROOF DOOR LEVELER
44	24" X 12" SLOPED ROOF DOOR LEVELER
45	24" X 12" SLOPED ROOF DOOR LEVELER
46	24" X 12" SLOPED ROOF DOOR LEVELER
47	24" X 12" SLOPED ROOF DOOR LEVELER
48	24" X 12" SLOPED ROOF DOOR LEVELER
49	24" X 12" SLOPED ROOF DOOR LEVELER
50	24" X 12" SLOPED ROOF DOOR LEVELER
51	24" X 12" SLOPED ROOF DOOR LEVELER
52	24" X 12" SLOPED ROOF DOOR LEVELER
53	24" X 12" SLOPED ROOF DOOR LEVELER
54	24" X 12" SLOPED ROOF DOOR LEVELER
55	24" X 12" SLOPED ROOF DOOR LEVELER
56	24" X 12" SLOPED ROOF DOOR LEVELER
57	24" X 12" SLOPED ROOF DOOR LEVELER
58	24" X 12" SLOPED ROOF DOOR LEVELER
59	24" X 12" SLOPED ROOF DOOR LEVELER
60	24" X 12" SLOPED ROOF DOOR LEVELER
61	24" X 12" SLOPED ROOF DOOR LEVELER
62	24" X 12" SLOPED ROOF DOOR LEVELER
63	24" X 12" SLOPED ROOF DOOR LEVELER
64	24" X 12" SLOPED ROOF DOOR LEVELER
65	24" X 12" SLOPED ROOF DOOR LEVELER
66	24" X 12" SLOPED ROOF DOOR LEVELER
67	24" X 12" SLOPED ROOF DOOR LEVELER
68	24" X 12" SLOPED ROOF DOOR LEVELER
69	24" X 12" SLOPED ROOF DOOR LEVELER
70	24" X 12" SLOPED ROOF DOOR LEVELER
71	24" X 12" SLOPED ROOF DOOR LEVELER
72	24" X 12" SLOPED ROOF DOOR LEVELER
73	24" X 12" SLOPED ROOF DOOR LEVELER
74	24" X 12" SLOPED ROOF DOOR LEVELER
75	24" X 12" SLOPED ROOF DOOR LEVELER
76	24" X 12" SLOPED ROOF DOOR LEVELER
77	24" X 12" SLOPED ROOF DOOR LEVELER
78	24" X 12" SLOPED ROOF DOOR LEVELER
79	24" X 12" SLOPED ROOF DOOR LEVELER
80	24" X 12" SLOPED ROOF DOOR LEVELER
81	24" X 12" SLOPED ROOF DOOR LEVELER
82	24" X 12" SLOPED ROOF DOOR LEVELER
83	24" X 12" SLOPED ROOF DOOR LEVELER
84	24" X 12" SLOPED ROOF DOOR LEVELER
85	24" X 12" SLOPED ROOF DOOR LEVELER
86	24" X 12" SLOPED ROOF DOOR LEVELER
87	24" X 12" SLOPED ROOF DOOR LEVELER
88	24" X 12" SLOPED ROOF DOOR LEVELER
89	24" X 12" SLOPED ROOF DOOR LEVELER
90	24" X 12" SLOPED ROOF DOOR LEVELER
91	24" X 12" SLOPED ROOF DOOR LEVELER
92	24" X 12" SLOPED ROOF DOOR LEVELER
93	24" X 12" SLOPED ROOF DOOR LEVELER
94	24" X 12" SLOPED ROOF DOOR LEVELER
95	24" X 12" SLOPED ROOF DOOR LEVELER
96	24" X 12" SLOPED ROOF DOOR LEVELER
97	24" X 12" SLOPED ROOF DOOR LEVELER
98	24" X 12" SLOPED ROOF DOOR LEVELER
99	24" X 12" SLOPED ROOF DOOR LEVELER
100	24" X 12" SLOPED ROOF DOOR LEVELER



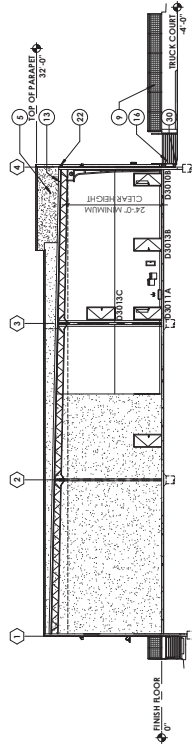
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

project number	1803	drawn by	JA
date	06.07.19	checked	CWH

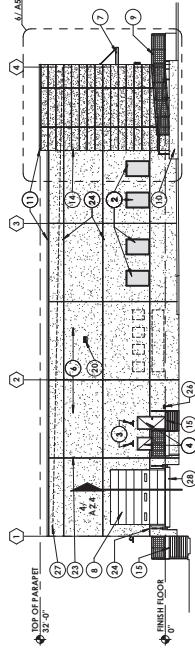
© 2019 Beatty Palmer Architects, Inc. All rights reserved.
No part of this document may be reproduced or utilized in any form
without prior written authorization of Beatty Palmer Architects, Inc.

KEYNOTES

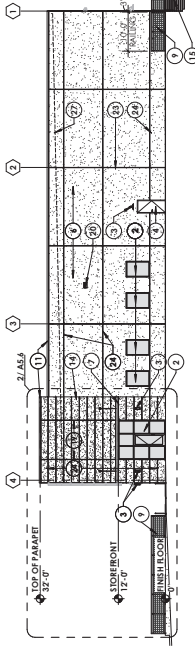
1. PREFINISHED METAL DOWNSPOUT / TYPICAL
2. STORE FRONT SYSTEM WITH TYPICAL GLASSING
3. ELECTRICAL CONDUIT TO LIGHT TRUNKING / REFER TO ELECTRICAL
4. PAVED ALUMINUM METAL DOOR & FRAME / REFER TO DETAILS / TYPICAL
5. PARAPET BEYOND
6. REINFORCED CONCRETE TILT WALL PANEL / ARCHITECT
7. PRE-ENGINEERED ALUMINUM CANOPY ABOVE PARAPET / REFER TO DETAILS / TYPICAL
8. VERTICAL LIFT OVERHEAD SECTIONAL DOOR / REFER TO DETAILS
9. GALVANIZED STEEL GUARDRAIL / REFER TO DETAILS
10. CONCRETE VERTICAL SURFACE WITH RUBBED FINISH / REFER TO DETAILS
11. GALVANIZED STEEL METAL CORNING / REFER TO DETAILS
12. GALVANIZED STEEL GUARDRAIL WITH HANDRAIL / REFER TO DETAILS
13. LAYED CONCRETE TILT WALL PANEL JOINT
14. STEEL STAIR WITH STEEL HANDRAILS / REFER TO DETAILS
15. REINFORCED CONCRETE STAIR / COORDINATE WITH CIVIL GRADES FOR RIBBING / 4" MINIMUM
16. REINFORCED CONCRETE STAIR / COORDINATE WITH CIVIL GRADES FOR RIBBING / 4" MINIMUM
17. DOCK BLANKET / 2" FIBER OVERHEAD DOOR / TYPICAL
18. PERSONAL FALL ARREST SYSTEM AND PARAPET WITH 2" FIBER OVERHEAD DOOR / TYPICAL
19. VERTICAL REVEAL IN CONCRETE PANEL
20. WALL MOUNTED LED WALL PACK / TYPICAL
21. CONCRETE GUARDRAIL / REFER TO DETAILS
22. CONTINUOUS GUTTER
23. VERTICAL JOINT IN CONCRETE PANEL
24. ALUMINUM & GLASS STORE FRONT SYSTEM WITH PRE-ENGINEERED CONNECTION / REFER TO SHOP SPECIFICATIONS
25. ROOF LINE BEYOND
26. GALVANIZED STEEL DOCK LEVELER
27. KAILS
28. GALVANIZED STEEL PIPE HORIZONTAL & VERTICAL
29. 24" X 6" FIBER OVERHEAD DOOR / TYPICAL
30. COURT DOCK DOORS



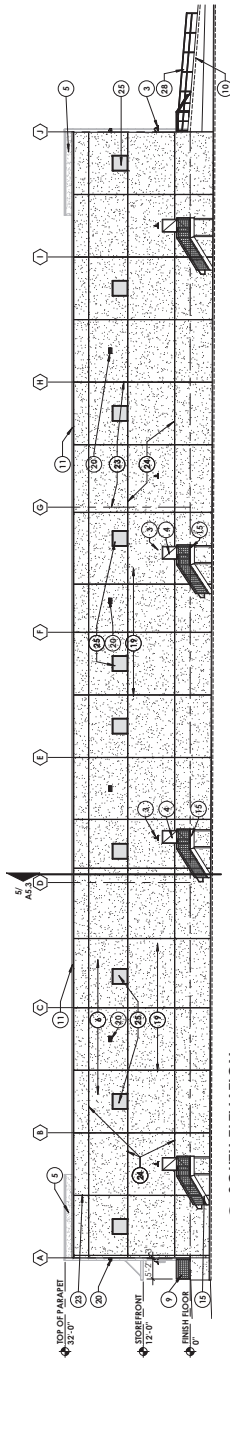
5 BUILDING SECTION
1/16" = 1'-0" BUILDING 3



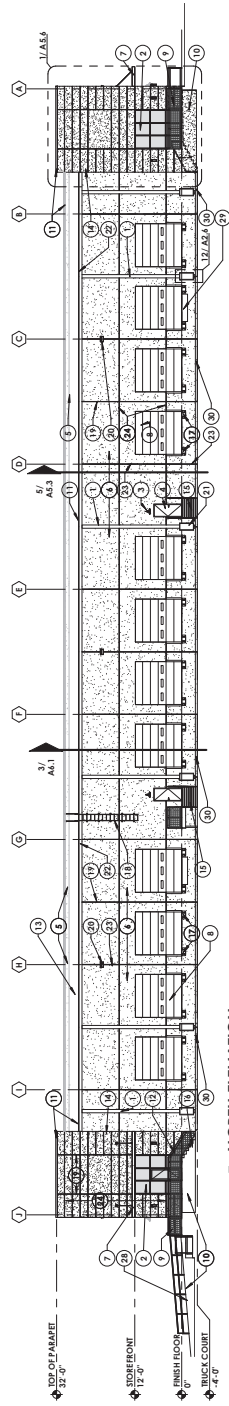
4 EAST ELEVATION
1/16" = 1'-0" BUILDING 3



3 WEST ELEVATION
1/16" = 1'-0" BUILDING 3



2 SOUTH ELEVATION
1/16" = 1'-0" BUILDING 3



1 NORTH ELEVATION
1/16" = 1'-0" BUILDING 3

architect

revisions



CLOVIS BARKER
WAREHOUSE
DEVELOPMENT
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666



drawn by
checked by
date

project number

sheet number

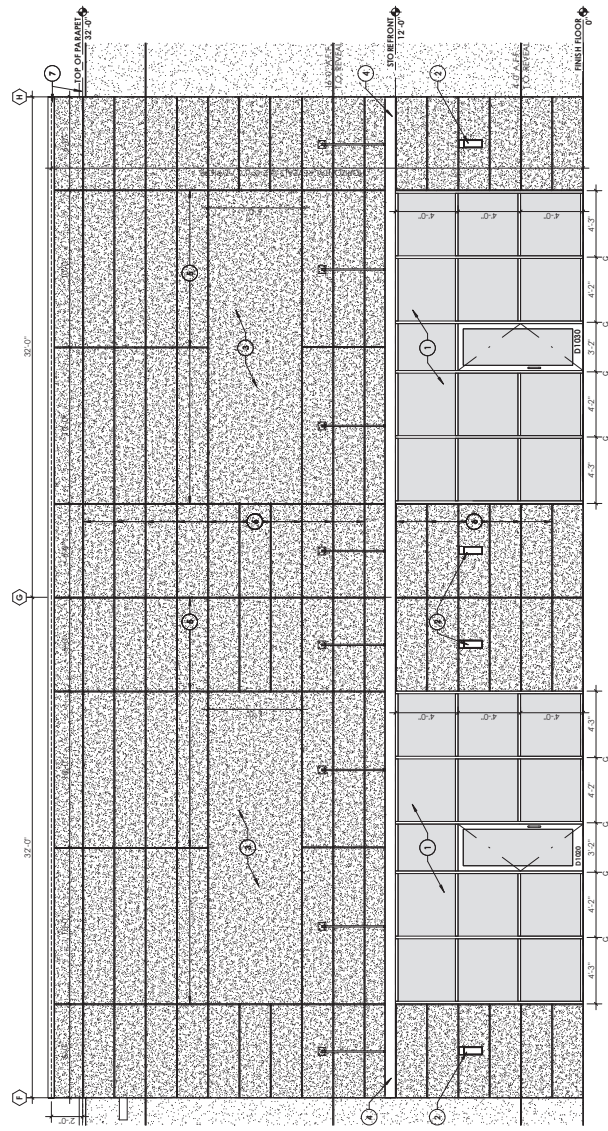
A5.3

Beatty Palmer Architects, Inc.
5000 West Loop South, Suite 1000
Houston, Texas 77025
www.beattypalmer.com

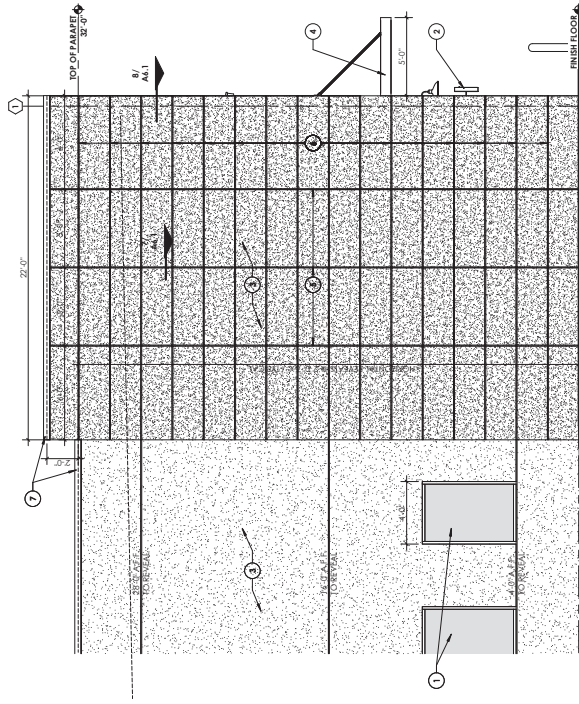
BEATTY PALMER ARCHITECTS

KEYNOTES

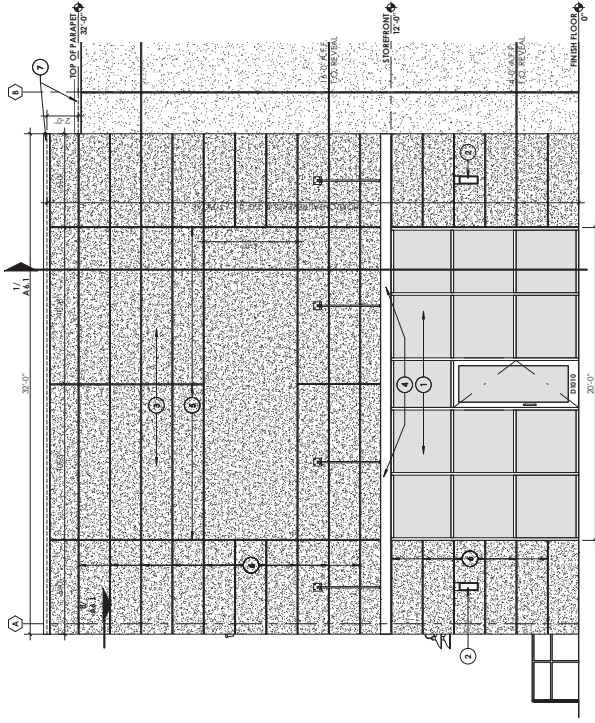
- 1 STOREFRONT SYSTEM WITH 1" GASKING
- 2 WALL MOUNTED LED LIGHT FIXTURE / REFER TO ELECTRICAL
- 3 REINFORCED CONCRETE TILT WALL PANEL / TEXTURE AND PAINT COLORS AS SELECTED BY ARCHITECT
- 4 PREENGINEERED ALUMINUM CANOPY ABOVE OR APPROVED EQUAL / ANCHORED TO CONCRETE TILT WALL / TYPICAL
- 5 VERTICAL REVEAL IN CONCRETE PANEL
- 6 HORIZONTAL REVEAL IN CONCRETE TILT WALL PANEL
- 7 PREFINISHED METAL CORING / REFER TO DETAILS



3 CENTER ENTRANCE
1/4" = 1'-0" BUILDING



2 SOUTH WEST CORNER
1/4" = 1'-0" BUILDING



1 SOUTH WEST ENTRANCE
1/4" = 1'-0" BUILDING

architect revisions



**CLOVIS BARKER
WAREHOUSE
DEVELOPMENT**
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

**INVESTMENT'S
BEARDEN**

drawn by
checked by
date
06.07.19

sheet number

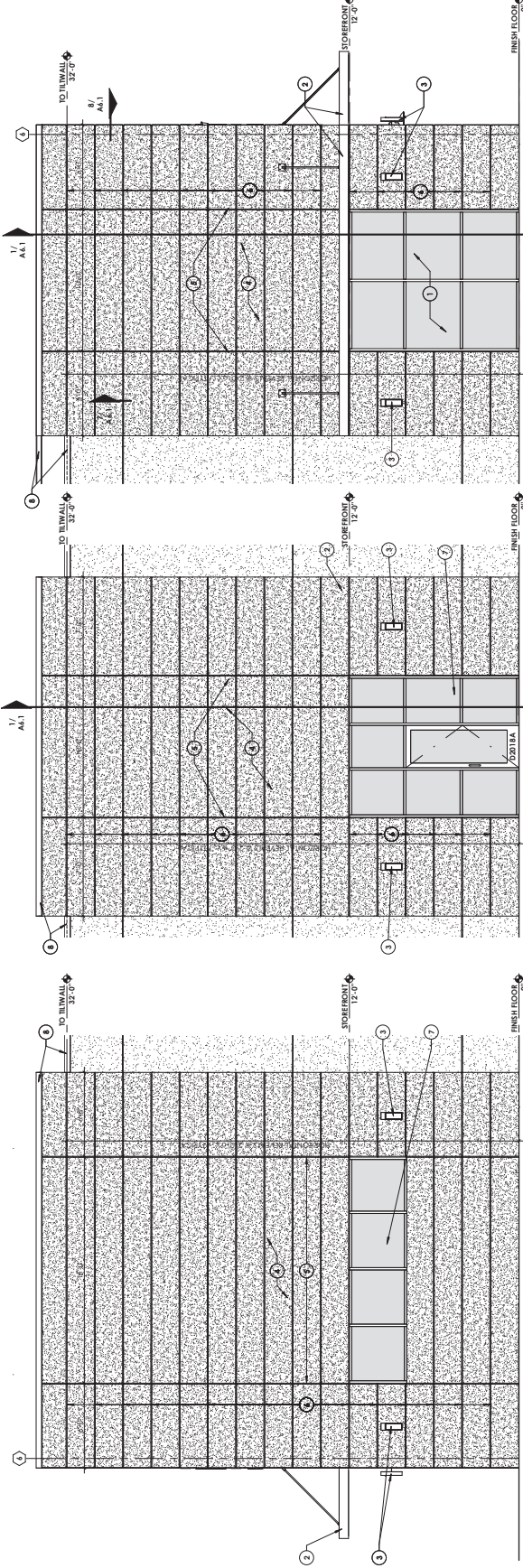
A5.4

Beatty Palmer Architects, Inc.
5100 Westpark Drive, Suite 200
Austin, Texas 78735
www.beattypalmer.com

© 2019 Beatty Palmer Architects, Inc. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, without prior written permission of Beatty Palmer Architects, Inc.

KEYNOTES

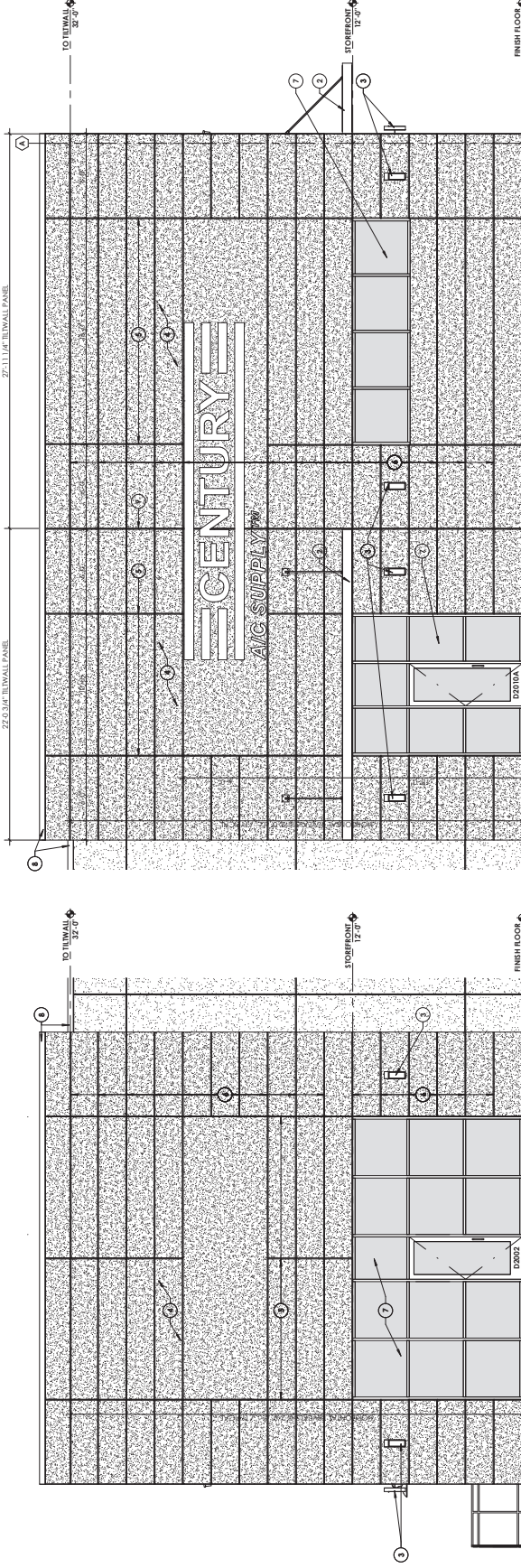
1. ALUMINUM AND GLASS STOREFRONT SYSTEM WITH 1" GLAZING AS SPECIFIED
2. PRE-CASTER ALUMINUM CLADDING ASSEMBLY BY ALUMINUM TECHNOLOGIES INC. (AT-897-002) / OR APPROVED EQUAL / ANCHORED TO CONCRETE TILTWALL / TYPICAL
3. WALL MOUNTED LED LIGHT FIXTURE / REFER TO ELECTRICAL
4. REINFORCED CONCRETE TILTWALL PANEL / ANCHORS AND PAINT COORDS AS SELECTED BY ARCHITECT
5. VERTICAL REVEAL IN CONCRETE PANEL
6. HORIZONTAL REVEAL IN CONCRETE TILTWALL PANEL
7. STOREFRONT SYSTEM WITH 1" GLAZING
8. PREFINISHED METAL CORING / REFER TO DETAILS
9. VERTICAL JOINT IN CONCRETE PANEL



3 PARTIAL EAST ELEVATION
1/4" = 1'-0" BUILDING 2 - NORTH EAST CORNER

4 PARTIAL WEST ELEVATION
1/4" = 1'-0" BUILDING 2 - WEST ENTRANCE

5 PARTIAL WEST ELEVATION
1/4" = 1'-0" BUILDING 2 - NORTH WEST CORNER



1 PARTIAL NORTH ELEVATION
1/4" = 1'-0" BUILDING 2 - NORTH WEST ENTRANCE

2 PARTIAL NORTH ELEVATION
1/4" = 1'-0" BUILDING 2 - NORTH EAST ENTRANCE

architect revisions



**CLOVIS BARKER
WAREHOUSE
DEVELOPMENT**
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

BEARDEN INVESTMENTS

drawn by
project number
checked by
date

sheet number
Beatty Palmer Architects, Inc.
5100 Antares Road, Suite 400
San Antonio, Texas 78205
Phone: 210.212.8022
www.beattyplm.com

A5.5

© 2011 Beatty Palmer Architects, Inc. All rights reserved.
No portion of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, without prior written permission of Beatty Palmer Architects, Inc.

1	ALUMINUM AND GLASS STOREFRONT SYSTEM WITH 1" GLAZING ASSEMBLY
2	PREENGINEERED ALUMINUM PANEL ABOVE APPROVED DUAL / ANCHORED TO CONCRETE TITWALL / TITWALL / TITWALL
3	WALL MOUNTED LED RAILURE / REFER TO ELECTRICAL
4	REINFORCED CONCRETE TITWALL PANEL / TEXTURE AND PAINT COLORS AS SELECTED BY ARCHITECT
5	VERTICAL REVEAL IN CONCRETE PANEL
6	HORIZONTAL REVEAL IN CONCRETE TITWALL PANEL
7	PREFINISHED METAL COPING / REFER TO DETAILS
8	REINFORCED CONCRETE PANEL / COORDINATE WITH LOW CRACKS FOR RECENT / MINIMUM 1" MAXIMUM RISER HEIGHT
9	STOREFRONT SYSTEM WITH 1" GLAZING
10	GLAZING SYSTEM GUARDRAIL / REFER TO DETAILS
11	CONCRETE WALL WITH FINISHED PANEL ON EXTERIOR SURFACE / PAINT TO MATCH BUILDING EXTERIOR
12	GLAZING SYSTEM PRE-HANDRAIL / REFER TO DETAILS
13	APPLIED CONCRETE TITWALL PANEL JOINT
14	PAINT TO MATCH EXTERIOR STAIR AND DOOR FINISH / REFER TO



BEARDEN
INVESTMENTS

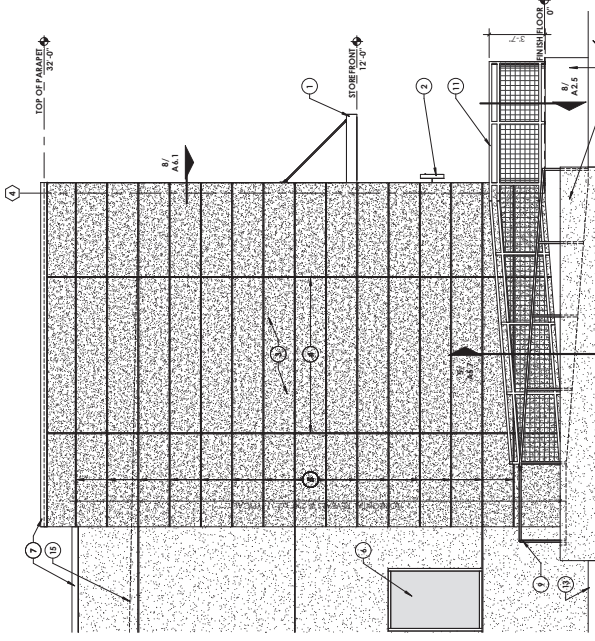
Randy Palmer Architects Inc. • 310.341.0000 • www.randy-palmer.com

© 2019 Bechtel Polymer Architects, Inc. All rights reserved.
No part of this document may be reproduced or utilized in any form without prior written authorization of Bechtel Polymer Architects, Inc.

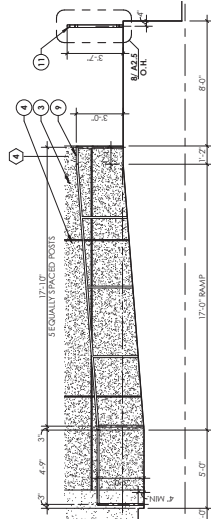
BEATY PALMER ARCHITECTS

KEYNOTES

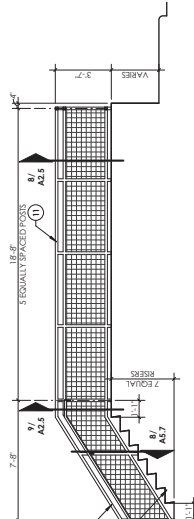
1. REINFORCED CONCRETE WALL / REFER TO DETAILS
2. WALL MOUNTED LIGHT FIXTURE / REFER TO ELECTRICAL
3. REINFORCED CONCRETE TIE WALL PANEL / REFER TO DETAILS
4. VERTICAL REVEAL IN CONCRETE PANEL
5. HORIZONTAL REVEAL IN CONCRETE TIE WALL PANEL
6. STOREFRONT SYSTEM WITH 1" GLAZING
7. REINFORCED METAL COPING / REFER TO DETAILS
8. REINFORCED CONCRETE DASH / COORDINATE WITH CIVIL GRADES FOR RIBS COUNTS / 4"
9. GALVANIZED STEEL PIER HANDRAIL / REFER TO DETAILS
10. GALVANIZED STEEL GUARDRAIL WITH HANDRAIL / REFER TO DETAILS
11. GALVANIZED STEEL GUARDRAIL / REFER TO DETAILS
12. CONCRETE VERTICAL SURFACE WITH RUBBED FINISH / PAINT
13. REINFORCED CONCRETE CURB / REFER TO CIVIL
14. CONCRETE WALL CURB WITH RUBBED FINISH ON EXTERIOR SURFACE / PAINT TO MATCH BUILDING EXTERIOR
15. ROOF LINE BEYOND



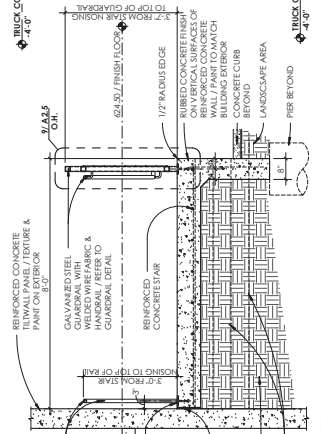
6 PARTIAL EAST ELEVATION
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER



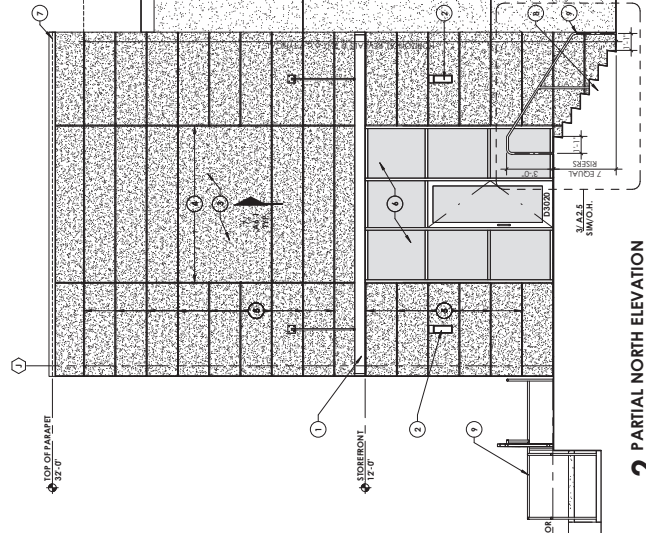
9 SECTION / ELEVATION
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER RAMP



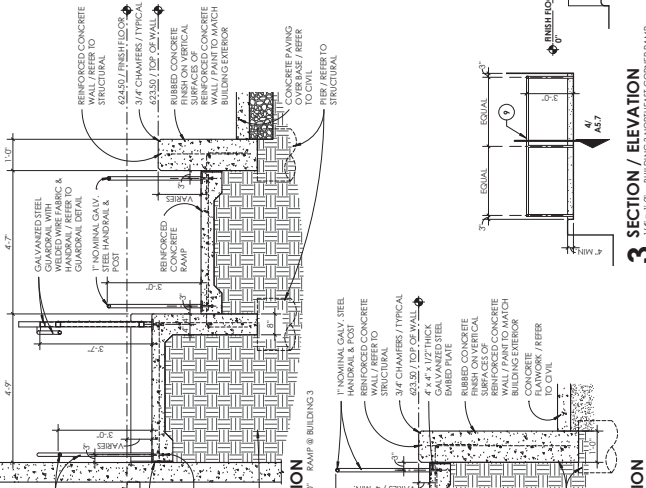
7 SECTION / ELEVATION
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER STAIR



8 SECTION
1/2" = 1'-0" RAMP @ BUILDING 3



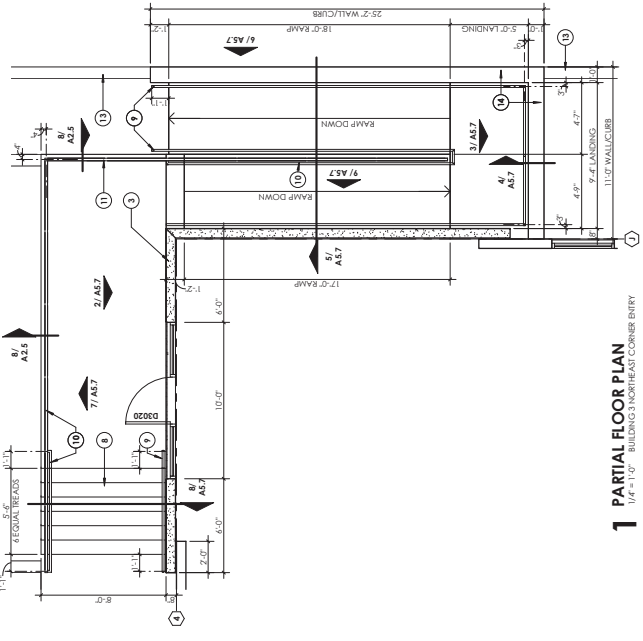
2 PARTIAL NORTH ELEVATION
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER



3 SECTION / ELEVATION
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER RAMP



4 SECTION
1/2" = 1'-0" RAMP @ BUILDING 3



1 PARTIAL FLOOR PLAN
1/4" = 1'-0" BUILDING 3 NORTHEAST CORNER BURY



**CLOVIS BARKER
WAREHOUSE
DEVELOPMENT**
1551 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

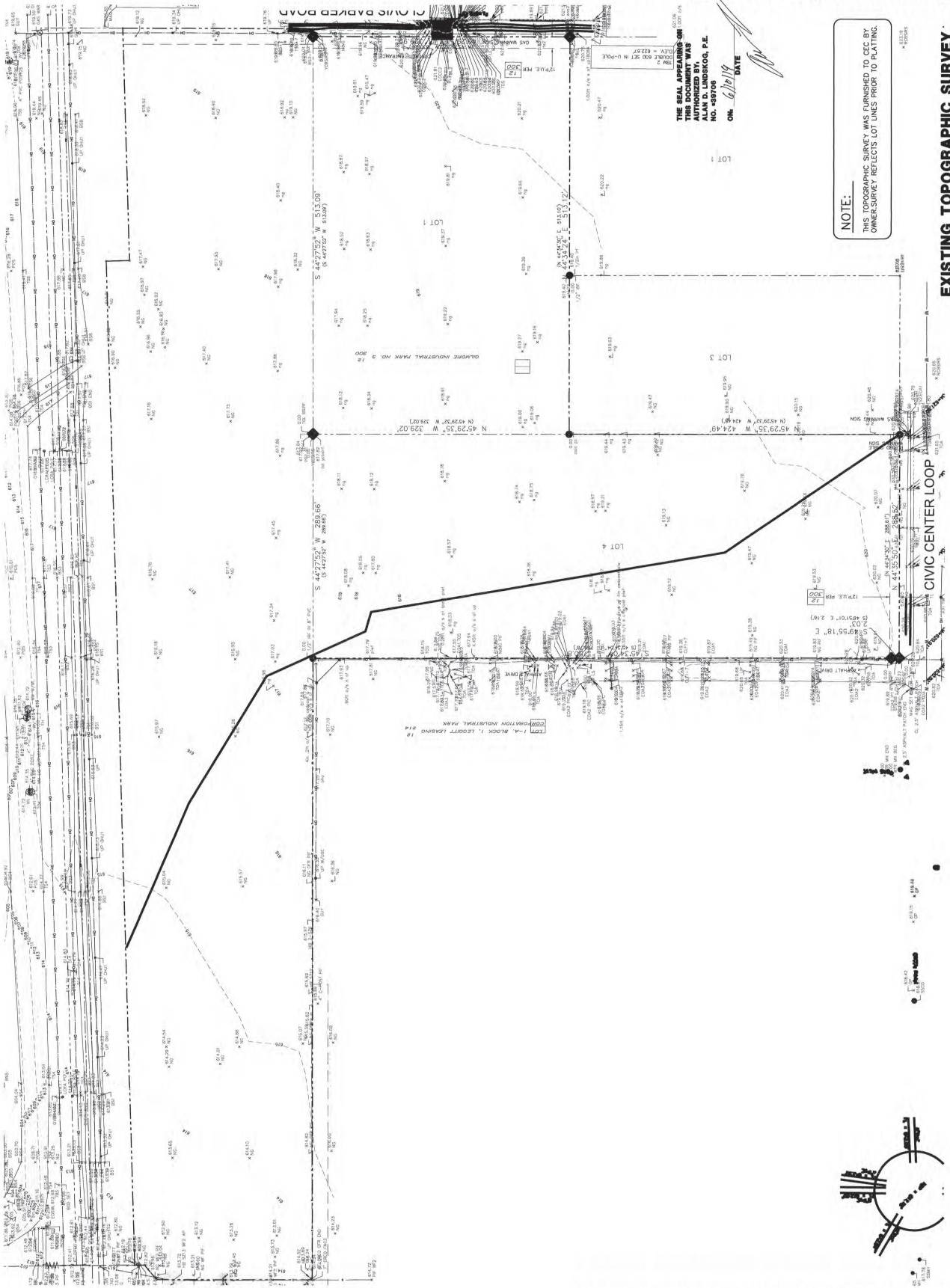
BEARDEN INVESTMENTS

drawn by
checked by
date
06.07.19

project number
sheet number
A5.7

Beatty Palmer Architects, Inc.
500 Andrews Road #205
Village 2, 2012-2022
www.beattyplm.com

© 2019 Beatty Palmer Architects, Inc. All rights reserved.
This drawing is the property of Beatty Palmer Architects, Inc.



NOTE:
THIS TOPOGRAPHIC SURVEY WAS FURNISHED TO CEC BY
OWNER. SURVEY REFLECTS LOT LINES PRIOR TO PLATTING.



**CLOVIS BARKER
WAREHOUSE
DEVELOPMENT**
2100 CLOVIS BARKER ROAD
SAN MARCOS, TEXAS 78666

Drawn by: CSM
Checked by: CSM
Best Number: 10.18.19
Beatty Palmer Architects, Inc.
110 Broadway, Suite 420
San Antonio, Texas 78205
www.beattypalmer.com
For 2102.21.8018

C0.2

BEATTY PALMER ARCHITECTS

EXISTING TOPOGRAPHIC SURVEY