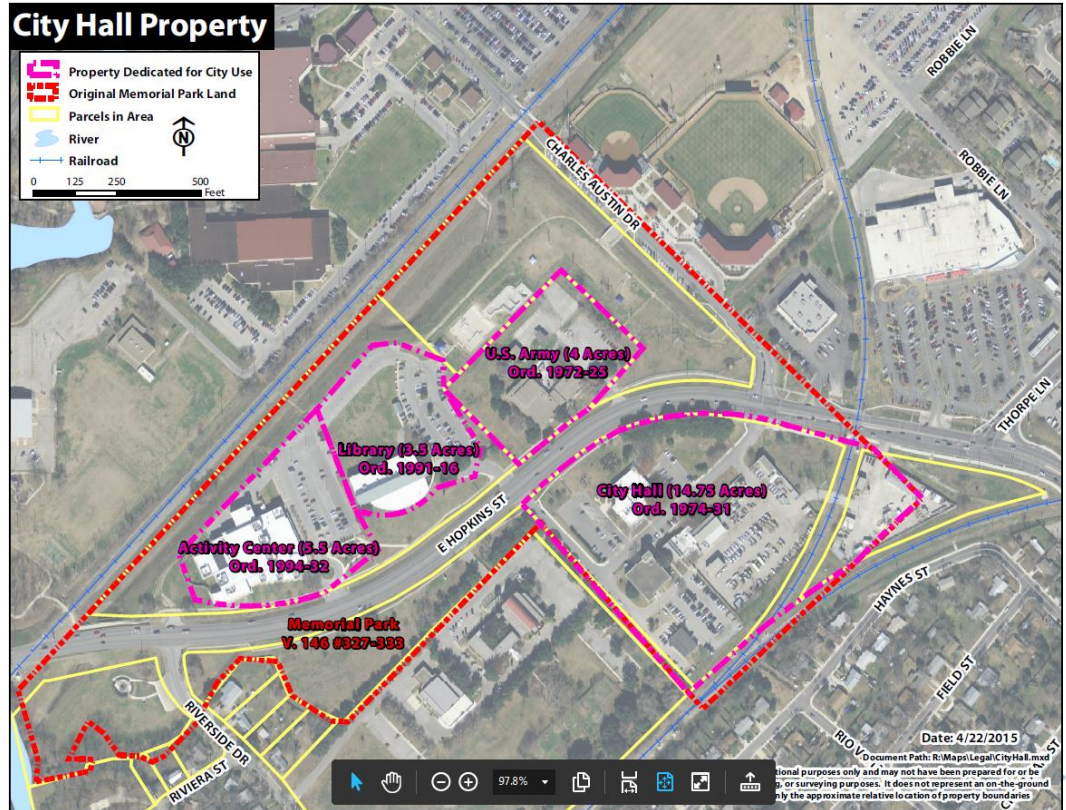


City Hall

Campus Redevelopment Work Session

18 September 2018



Today's Discussion

- City Hall Campus Objectives
- Development Options
- What is Public Private Development
- How Does it Work
- Why is it used
- Pros and Cons
- Application to San Marcos
- Going Forward

City Hall Campus Objectives

- Develop long-term programmatic requirements for City Hall
- Relocate / consolidate Public and Community Services
- Determine strategies to capitalize on remaining City Hall site area for potential City and/or Private development
- Develop comprehensive plan to encompass City properties to activate area and create true identifiable “Gateway to the City”:
 - City Hall, Library, Recreation Center, and Park

Development Options

- Technical Delivery:
 - Develop a single City Hall building with potential overbuild to meet long term needs and/or for potential lease.
 - Consider comprehensive City Hall Campus development approach based on the creation of a Campus Master Plan
- Delivery Models:
 - City self-funds all
 - City self-funds none in favor of 3rd party engagements
 - City forms Public / Private cooperative partnerships

What is Public Private Cooperation

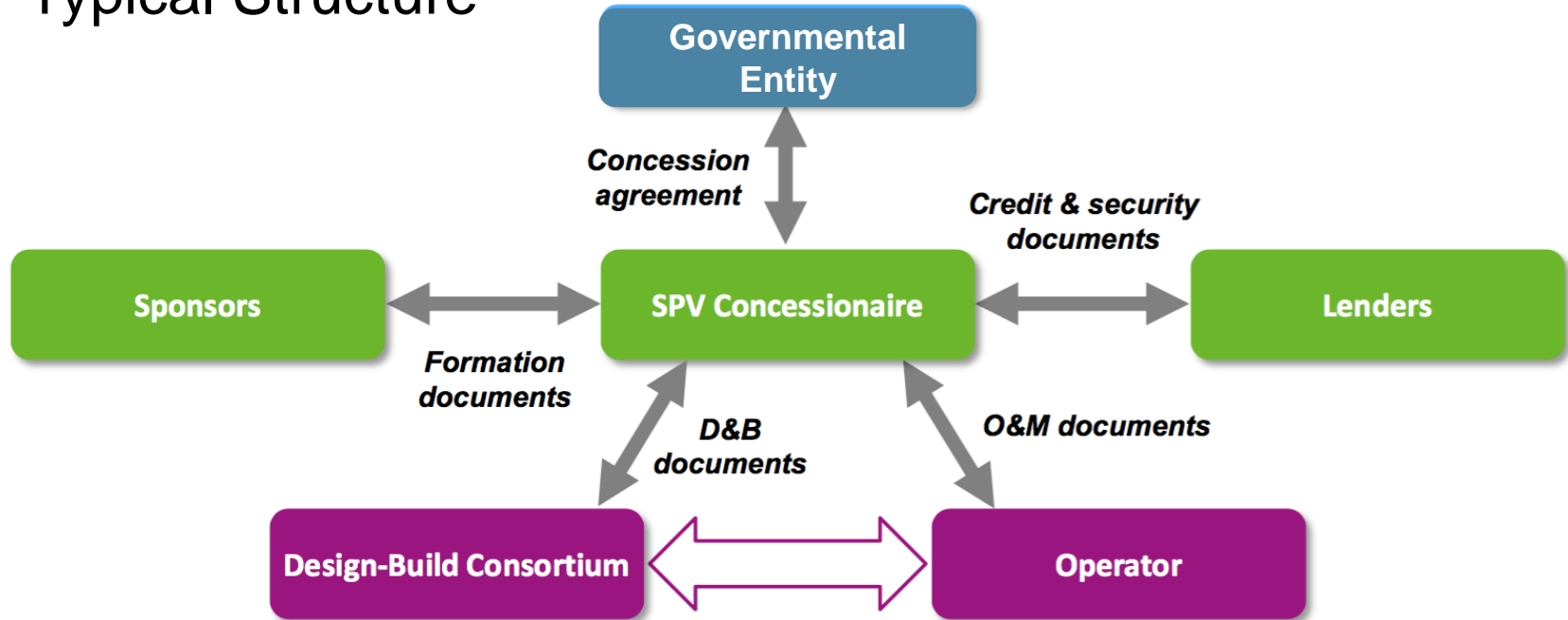
- Cooperative arrangements between Public and Private entities typically used for infrastructure, buildings, and utilities development and operations
- Examples include:
 - Private maintenance and operations
 - Operation of public roads and highways
 - Privatization of utilities such as power and water
 - Government land lease for real estate development

What is Public Private Cooperation

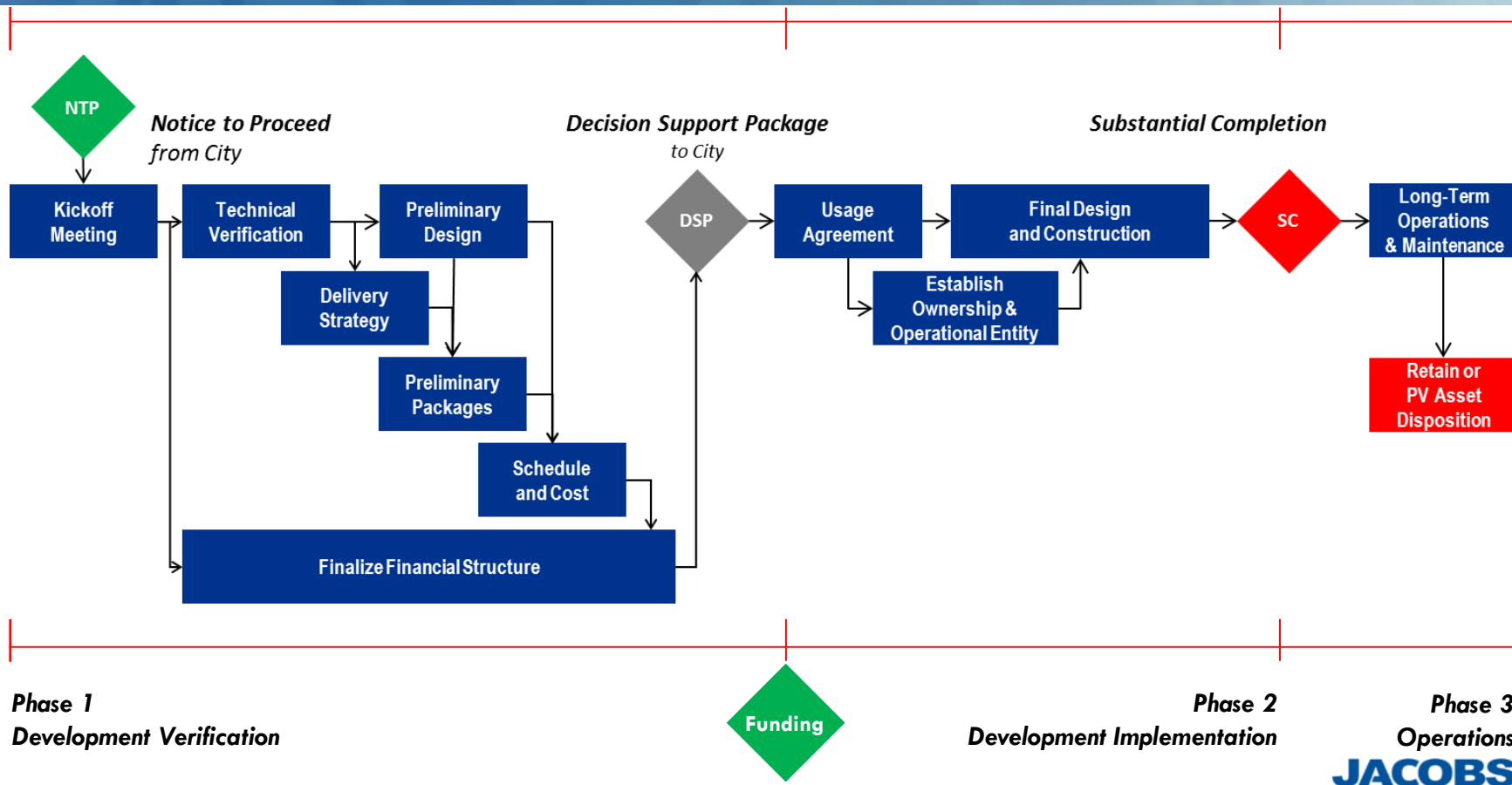


How Does Public Private Cooperation Work

- Typical Structure



Approach



Why is Public Private Cooperation Used

- Time Efficiencies
- Cost Efficiencies
- Risk Mitigation
- Leverage Optimization
- Debt Capacity Preservation

Public Private Pros and Cons

- Pros:
 - Each does what is best
 - Speed to market
 - Lower total cost
 - Overall increased ROI
 - Risk management
 - Broader leverage
- Cons:
 - Unfamiliarity
 - Contractual complexities
 - Reduced competitors
 - Cost Vs Quality
 - Agreement alignments
 - Less total control

Public Private Application in San Marcos

- Consider City Hall Campus Revitalization:

- Create a City presence
- Provide necessary City government space as well as potential overbuild
- Create a gateway
- Connect properties
- Thoroughfare development
- Trail / River connectivity



Public Private Application in San Marcos

- **City Hall Site Development Example:**

- Available Site: 14.75 acres
 - New City Hall: 5 acres
 - Long Term Expansion: 3 acres
- *Developable Land: 6.75 acres*
 - 40% Site/Infrastructure: 2.75 acres
- *Buildable Area: 4 acres*
- *4 story at 85% use: 590,000 gsf*



Next Steps

- Proceed with City Hall Campus Revitalization Master Plan:
 - Gateway from I-35 to Town Square
 - Connectivity to other City assets (Library/Rec/Park)
 - Coordination of transportation / trails
 - Activation of additional property not required for City Hall
 - Potential additional land acquisition
 - Leverage funds for infrastructure or other development
 - Validate optimum delivery models

Projected Timeline

- | | |
|--|----------------------|
| ▪ Solicit Master Plan Services | October 2018 |
| ▪ Award Master Plan Services | December 2018 |
| ▪ Conduct Master Plan | Jan – August 2019 |
| ▪ Approve Master Plan | September 2019 |
| ▪ Solicit Public/Private Developer | October 2019 |
| ▪ Public & Community Services Relocation Complete | February 2020 |
| ▪ Award Public Private Developer | February 2020 |
| ▪ New City Hall Complex Complete | Spring 2022 |

Coordinate City Hall schedule with Public & Community Service Relocation

Questions?

- David Syphard, Vice President, Alternative Strategies
- Chappell Jordan, Principal, Project Manager

