

LINDSEY HILL

San Marcos, Texas

PDD Standards Book

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Commented [VA1]: Staff Mark-up 9.7.18

Acknowledgements

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Lindsey Hill PDD Zoning

This PDD Standards Book (the “PDD Standards Book” or the “Book”) applies to the property located at 500 W. Hutchison Street in San Marcos, Hays County, Texas, more particularly described by metes and bounds in Section 6.3 (the “Property” or the “Project Site”). The Property ~~is zoned~~ ~~has been rezoned from “P” Public and Institutional District, to~~ “PDD” Planned Development District, ~~subject to a~~ ~~with a~~ base zoning classification of “MU” Mixed Use District, as modified by the standards set forth within this document.

This Book describes a mixed-use project that is sometimes referred to in this document as “Lindsey Hill” or the “Project.”

Except as varied by this PDD Standards Book, the Property and the Project shall be subject to all use and development standards applicable to the “MU” Mixed Use District (the “Base Regulations”) of the City of San Marcos Land Development Code (the “LDC”) and to the procedural requirements outlined in the LDC and in other San Marcos Codes applicable as of April 27, 2015 (the “Applicable Regulatory Date”). Unless otherwise specifically noted herein, all references within this Book to the LDC or to other San Marcos codes, standards, and/or regulations shall mean and refer to codes, standards, and/or regulations in force on the Applicable Regulatory Date. In the event of any conflict between the standards, allowances, or any other item outlined in this PDD Standards Book and any requirements outlined within the LDC or within any other City of San Marcos codes, standards, and/or regulations, this PDD Standards Book shall govern and control.

In order to provide flexibility with respect to certain details of the development of the Project, minor changes may be made with approval of the Director of Planning and Development Services. A minor change may be approved if it does not affect or change provisions within this Book by more than 10%. Changes of more than 10% shall be considered major and shall be presented to the Planning and Zoning Commission and ~~for~~ City Council for review and approval as an amendment to this PDD Standards Book. The following shall be considered major changes, even if the 10% threshold is not met: addition of land area, density beyond what is permitted by this document and a change in base zoning.

~~Additionally, because complete site plan and building design has not yet occurred, the images, drawings, figures, and standards in this Book are not depictions of actual buildings, final site plan, or other final designs, but instead shall be considered the “Concept Plan,” as described in Section 4.2.6.4 of the LDC.~~

Commented [VA2]: This is the PDD application date. Legal Determined the vesting date was in 2016.

Commented [VA3]: Table 1.5.3.6 allows only minor amendments. The paragraph above governs this, therefore, this paragraph is not necessary.

In addition to other applicable health and safety ordinance requirements, each phase of the Project will be required to meet Emergency Access requirements (as defined by the International Fire Code) at all stages of development.

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Commented [VA4]: Table of Contents needs to be reconfigured and verified once all comments have been addressed.

- 1.0 PLAN & DESIGN
 - 1.1 Land Use
 - 1.2 Phasing
 - 1.3 Sale of Alcoholic Beverages

Plan & Design

1.1 Land Use

This section provides an overview of the uses at Lindsey Hill, which are described in more detail in Section 6.1 – Use Standards. Additional details and requirements are more specifically described elsewhere in this PDD Standards Book.¹

Site Layout

Figure 1-1 depicts the layout of land uses at Lindsey Hill. Construction of Lindsey Hill shall conform substantially to Figure 1-1, except that in the event of any conflict between Figure 1-1 and other more detailed depictions or standards within this Book, such other more detailed depictions and standards shall govern and control. Any deviations from what is described in this Book shall be subject to the provisions of Section 4.2.6.5(b) of the LDC regarding “Subsequent Development Applications.”

Density and Area Summary

Lindsey Hill will contain a mix of multifamily residential (rental apartments and for-sale condominiums) and retail/commercial. Additionally, a portion of the area planned for retail and/or multifamily residential rental use may instead be utilized as office space. Maximum residential density (multifamily rentals plus condos) is 45 units per acre. The uses permitted shall not exceed the following interior gross area and/or unit counts:

Multifamily Residential Rental Apartments:	184 units / 266 bedrooms (1.5 bedrooms per unit)
Residential Condominiums:	30 units / 66 bedrooms
Retail / Commercial Space: (Note: Any portion of the Retail Space may be used as retail, restaurant, or commercial space)	8,700 SF

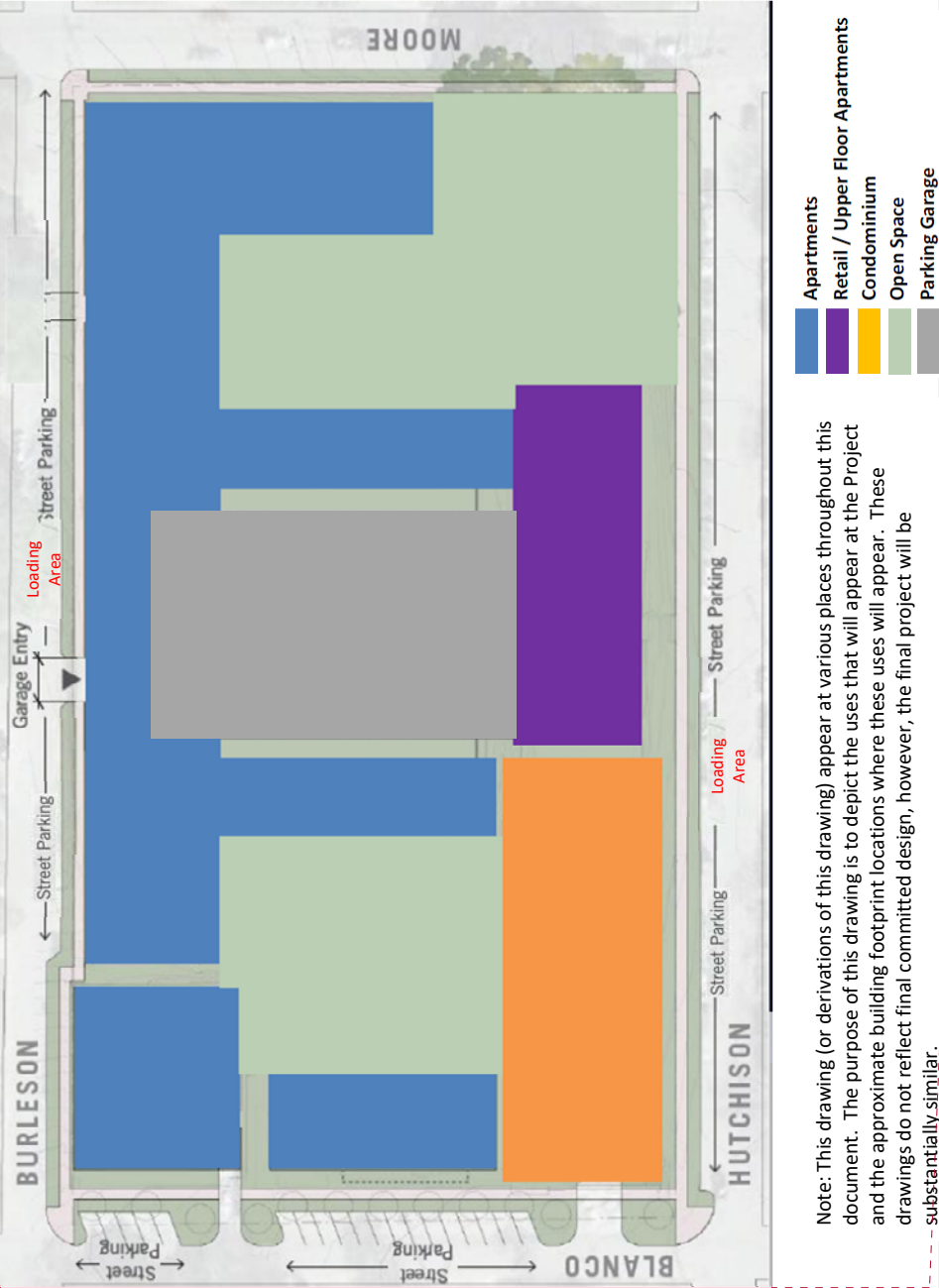
Commented [VA5]: Depict the location of the office space on figure 1-1. Recommend using a cross-hatch symbol on top of the existing colors on the concept plan. Include this cross hatch as a line item in the legend so that we understand that office space may be allowed in these areas.

Commented [VA6]: Terminology needs to be consistent throughout PDD

Commented [VA7]: Terminology needs to be consistent throughout PDD

¹For visual ease and convenience, a separate larger format site layout has been submitted with this Book. It is for reference purposes only.

Figure 1-1: ~~Ground Level~~ Layout of Land Uses at Lindsey Hill.



Commented [VA8]: Edits to Concept Plan:
-The on-street parking, garage entry, loading area, street parking, etc need to be removed. This will be shown more effectively through another exhibit later in the document.
- For consistency, terminology should match that on the previous page.
- Please differentiate between public and private open space.

1.1.A **Retail/Commercial Spaces**

Figure 1-1 depicts in purple the location of ground floor retail/commercial spaces at the Project Site. The leasing office and other facilities related to the multifamily complex (such as the mail room, community space, maintenance area, etc.) may be located within a portion of that ground floor space.

The sale of on-premise consumption of alcoholic beverages at the Property may occur in the “retail” area identified in Figure 1-1, subject to the establishment obtaining a Conditional Use Permit (“CUP”) in accordance with the LDC.

Commented [HA9]: Relocated from 1.3 below

1.1.B **Multifamily ~~Rental Housing~~ Residential Apartments**

A combination of one, two, and three bedroom ~~rental~~-apartments will be developed within the multifamily ~~rental~~-residential portion of the Project. Lindsey Hill’s multifamily rental apartments shall be subject to the following restrictions and requirements:

1. Lindsey Hill’s multifamily landlord shall not be permitted to lease apartments on a “rent by the bedroom” basis.
2. Subject to the requirements of applicable state and federal law, as the same may change from time to time, Lindsey Hill’s multifamily landlord shall not be permitted to lease any single one-bedroom or two-bedroom apartment to more than two (2) unrelated individuals between the ages of eighteen (18) and twenty-two (22), and for three (3) bedroom apartments, Lindsey Hill’s multifamily landlord shall not be permitted to lease any single apartment to more than three (3) unrelated individuals between the ages of eighteen (18) and twenty-two (22). As used in this section, “unrelated” means individuals not related by blood, legal adoption, marriage, or conservatorship.
3. All multifamily leases shall require:
 - a. all occupants to be named within the tenant lease; and
 - b. at least one occupant to have:
 - i. a minimum five (5) year credit, property rental, or property ownership history; or
 - ii. a minimum three (3) year credit, property rental, or property ownership history and a full-time job with income sufficient to satisfy the multifamily landlord’s income threshold.
4. Lindsey Hill’s multifamily landlord shall not permit subleasing.

Commented [VA10]: Staff recommends that current code language regarding occupancy restrictions be added to this section (no more than 2 unrelated individuals per unit)

5. Tenant leases shall include a statement informing tenants that Landlord shall not be responsible for tenant violations of any City of San Marcos codes, including for tenant violations of the requirements of this section. Tenant leases shall further state that in the event of any such violations, the City of San Marcos may issue directly to tenant notices of violations, which may include monetary penalties that tenant alone shall be responsible to pay.
6. Upon reasonable notice, the City of San Marcos shall be permitted to review tenant leases (limited to those sections of the leases pertaining to these lease requirements) at any time during normal business hours at Lindsey Hill's leasing office.

In the event that there is a possible breach of the requirements of this section, the City of San Marcos shall notify: (i) the tenant; and (ii) Lindsey Hill's multifamily landlord. So long as the tenant lease provides for the requirements of this section, no action shall be taken against Lindsey Hill's multifamily landlord while the landlord is using its best efforts to cure any such breach pursuant to legal and other remedies that may be available to the landlord.

Commented [VA11]: Staff has concerns about the potential enforcement of this section.

1.1.C Residential Condominiums

Lindsey Hill will include up to 30 residential condominium units with up to 66 total bedrooms. Condominium units will be offered for sale and the condo complex will be managed by a homeowners association (HOA) that will be created prior to or during construction. A vertical and horizontal condominium regime shall be created at the time of Final Platting.

1.1.D Office Space

A portion of the multifamily section of the Project may be designed as alternative office use space—so that if, during development, an office user expresses interest, that space instead can be completed as office. Alternatively, if no office users are secured, that space will be absorbed into the multifamily portion of Lindsey Hill. If a portion of the multifamily component is developed as office space, the multifamily component shall be reduced accordingly.

The alternative office use space may be located in the auditorium, gymnasium, and/or in the levels above or adjacent to the retail/commercial areas fronting Hutchison Street (as depicted below in [Figure 1-21](#)).

Commented [VA12]: Depict the location of the office space on figure 1-1. Recommend using a cross-hatch symbol on top of the existing colors on the concept plan. Include this cross hatch as a line item in the legend so that we understand that office space may be allowed in these areas.

1.2 Phasing

The Project is intended to be constructed in a single phase and in a manner that is consistent with the Concept Plan (but with allowances for deviation pursuant to LDC Section 4.2.6.5(b)). However, Lindsey Hill may be completed in phases and in that event, the following phasing plan shall apply. All applicable LDC development and permitting regulations shall apply to all Project phases.

1.2.A Phase 1

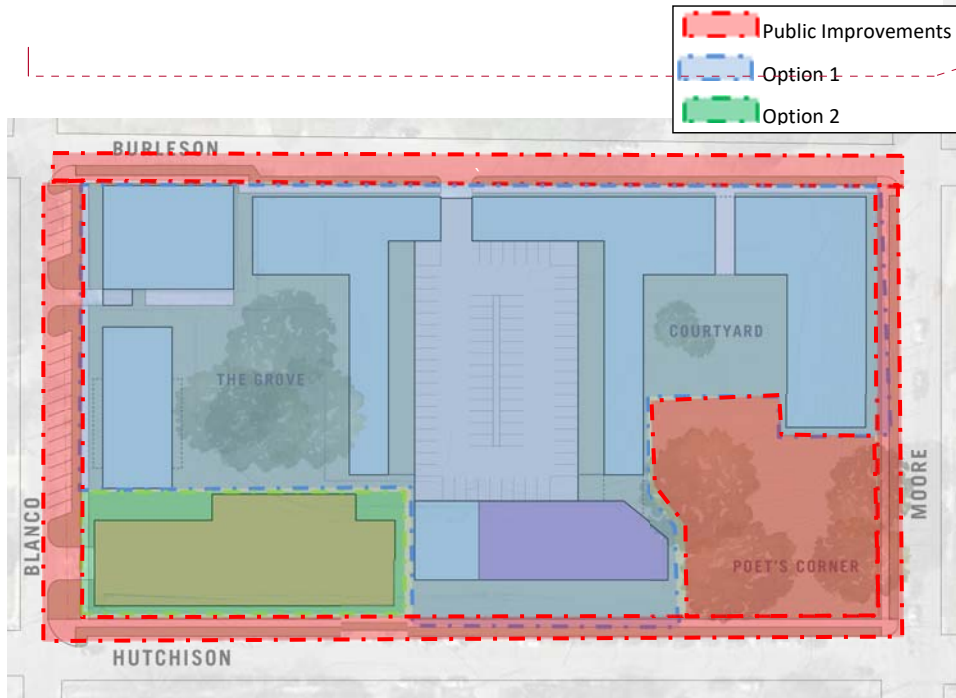
At a minimum, Phase 1 will include:

- Demolition of all buildings other than the existing auditorium and gymnasium.
- Either construction of the parking garage, retail/commercial area, and multifamily rental community (labeled as “Option 1” in *Figure 1-3*) or construction of the residential condominium building (labeled as “Option 2” in *Figure 1-3*).
- Public Improvements include completion of Poet’s Corner and construction of the “Street-Facing Improvements” (on-street parking, street-tree zone, and sidewalk zone improvements) along all rights-of-way adjacent to the entire Project Site. Notwithstanding anything herein to the contrary, Street-Facing Improvements may be phased as the development of the site occurs, so long as fiscal surety has been provided.

1.2.B Phase 2

Phase 2 will consist of construction of the improvements not started in Phase 1.

Work related to Phases 1 and 2 may occur simultaneously.



Commented [VA13]: Staff recommendation: use the basic concept plan, Figure 1.1, as the underlying image here and then add the overlays

Figure 1-3: Phasing plan depiction. Project sections that may be completed during either Phase 1 or Phase 2 are labeled Option 1 and Option 2.

1.3 Sale of Alcoholic Beverages

~~The sale for on-premise consumption of alcoholic beverages at the Property may will occur in the "retail" area identified in Figure 1-14 below, subject to the establishment obtaining a Conditional Use Permit ("CUP") in accordance with the LDC.~~

Commented [VA14]: This section was relocated to section 1.1.A above.

- 2.0 OPEN SPACES
 - 2.1 General Parkland Dedication Requirements
 - 2.2 Description of Open Spaces

Open Spaces

2.1 General Parkland Dedication Requirements

The LDC requires the public dedication of one (1) acre of parkland per ninety-four (94) multifamily dwelling units at the time of Final Plat. As this document specifies a maximum of two hundred fourteen (214) dwelling units, approximately 2.27 acres would be required to be publicly dedicated to parkland. This exceeds the twenty percent (20%) minimum requirement of Open Space that must be dedicated for a PDD. However, since open space will not be dedicated, the developer agrees to pay a fee-in-lieu based on \$266 per unit constructed.

Notwithstanding the foregoing, because the fee-in-lieu payment is an alternative to parkland dedication, the Project shall receive credit toward the fee-in-lieu payment for Project-provided Poet's Corner improvements that "benefit the character and quality" of the Project pursuant to LDC Section 7.6.1.2(i).

Commented [VA15]: Staff is not in support of this section.

2.2 Description of Open Spaces

Commented [VA16]: Provide one image (preferably concept plan) which depicts the location of the three spaces and/or describe the location of each in the text

2.2.A Poet's Corner

Poet's Corner, located at the corner of Hutchison and Moore Streets, will be privately owned, managed, maintained and controlled by the Project owner, but shall be open for public use (in accordance with rules and regulations of the Project owner, including but not limited to restrictions as to manner of use and hours of use).

Poet's Corner may include an amphitheater-type element that can be utilized for, among other things, artistic performances, special events, lounging, reading, and interacting with neighbors.

Poet's Corner Requirements and Checklist:

1. Preservation and maintenance of specimen trees.
2. The Project shall be responsible for ongoing maintenance of Poet's Corner.
3. Terracing to define various recreational areas.
4. Landscaping, bike racks, seating (may be built-in, moveable, benches, chairs, etc.), public drinking water fountain, trash receptacles, and dog waste receptacles.

2.2.B The Grove

The Grove will be located at (provide description). This is a privately owned open space that will be available for the exclusive use of Project residents and tenants and their guests. The Project shall be responsible for the ongoing maintenance of The Grove.

2.2.C The Courtyard

The Courtyard will be located at (provide description). This is a private open space reserved for the exclusive use of Project residents and tenants and their guests. The Project shall be responsible for the ongoing maintenance of the Courtyard.

- 3.0 SITE DESIGN
- 3.1 Pedestrian and Bicycle Site Design
 - 3.2 On-Site Landscaping
 - 3.3 Exterior Lighting
 - 3.4 Parking
 - 3.5 Vehicular Loading and Access
 - 3.6 Signage
 - 3.7 Impervious Coverage
 - 3.8 Water Quality & Permanent Best Management Practices
 - 3.9 Erosion Control
 - 3.10 Fences and Walls

Site Design

3.1 Pedestrian and Bicycle Site Design

3.1.A Pedestrian Access

While Poet's Corner will be open to the public as described above, other areas of the Lindsey Hill Project Site will generally be closed to the public. *Figure 3-1* depicts entrances that will be available to the pedestrian, and includes detail about whether such entrance will be gated or secured in some other manner. Gates or fences shall not block the ~~sidewalk zones~~public sidewalks surrounding the Project Site.

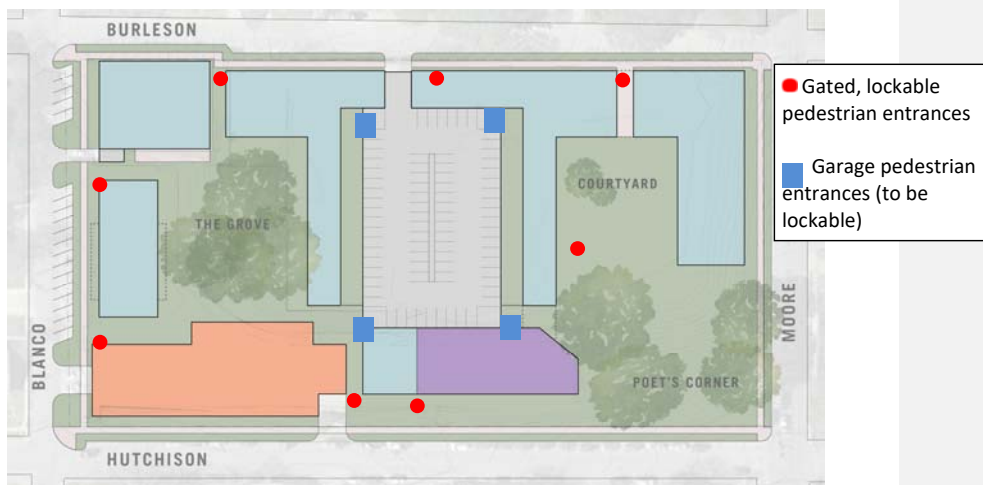







Figure 3-1: Approximate pedestrian access points. Note that building entrances are not denoted within this figure.

Pedestrian Gates

1. Gates shall be a maximum of eight feet (8') high. Any gate six feet (6') high or above shall be at least fifty percent (50%) transparent. All other gates below six feet (6') in height shall be at least twenty-five (25%) percent transparent. Notwithstanding the foregoing, there shall be no transparency requirement for the waste management area gate ~~or for forecourt gates along the Moore Street frontage.~~
2. *Figure 3-2* provides examples of acceptable and unacceptable gates.
3. Gates along streetscapes shall be setback a minimum of four feet (4') from the adjacent building front (other than gates serving Moore Street forecourts which may be "in-line" with the forecourt wall).

4. Fencing shall be allowed as needed adjacent to the gates illustrated above in *Figure 3-1*. Fencing adjacent to gates shall not exceed eight feet (8') in height and shall be subject to the transparency requirements outlined in this section.
5. All gates shall have a Knox Box for fire and police access and shall be easily accessible for emergency services.
6. Solid wood or chain link gates or fencing is not allowed.

Acceptable: 8 ft. gate with 50% transparency	Acceptable: 6 ft. gate with 25% transparency	Example: Prohibited Gates
		
		



Fencing/Wall Requirements Fences and walls at the Project will be sited in the locations outlined within *Figure 3-6* below.

1. Fencing six feet high or above shall be at least fifty percent (50%) transparent.
2. The maximum height of fencing shall be 8 feet.
3. Fencing/walls permitted materials list: stone, brick, concrete, masonry, wood, and metal. Chain link or solid wood fencing is not permitted.
4. The Moore Street fence/wall will provide screening and noise abatement from the adjacent busy, noisy roadway. The following applies to the Moore Street fence/wall:
 - a. Entry gates may be incorporated into and "in-line" with the wall.

Commented [HA17]: Relocated from 3.10 below

Commented [VA18]: Staff suggests removing the "other innovative materials" as we do not know what this could entail.

- b. [Entry gates and fence/wall have a max height of 66"](#).
- c. [No transparency requirement for this fence/wall.](#)
- d. [Inclusion of this wall and related landscaping shall fully satisfy the screening requirement under LDC Section 6.1.2.1\(b\)\(1\) related to multifamily use on the Moore Street frontage.](#)

	Fence or wall (up to 8' high), or landscaped feature with gate separating Poet's Corner from private apartment zone / Courtyard
	Fence or wall (up to 66" high) with gates to separate Moore Street forecourts from the adjacent busy, noisy roadway

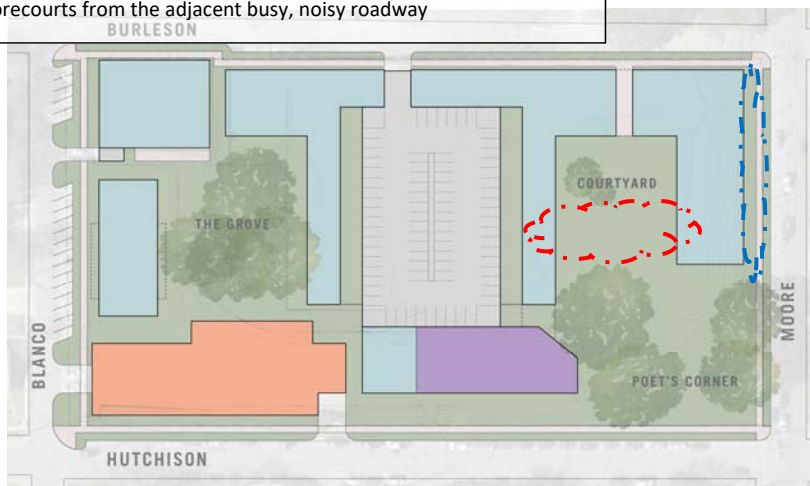


Figure 3-6: Approximate location of fences and walls.

3.1.B Bicycle Parking

Bicycling will be encouraged by creating convenient bike storage locations, some of which will include covered bicycle parking for guests, and secured bicycle storage for residents.

Bicycle Parking Requirements and Checklist:

1. A minimum of sixteen (16) bicycle parking spaces shall be located within the street tree zone along the Hutchison frontage, not more than one hundred feet (100') from the ground floor entrance of the Project's retail/commercial component as measured from the front ground floor entrance and along approved pedestrian paths.
2. A minimum of sixteen (16) bicycle parking spaces shall be located within the parking garage.



3. In the event of a city-wide bike sharing program, space shall be provided for a bike-share rack or designated parking area.
4. ~~There shall be no multifamily distance to door requirement for bicycle parking.~~

Commented [VA19]: This section is not necessary because we've already established the bike standards above for MF parking inside the garage.

3.2 On-Site Landscaping

Landscaping shall be governed by the Base Regulations except as modified in this PDD. ~~for the below modifications and those in the attached Variances & Enhancements Matrix.~~

Landscaping Requirements and Checklist:

1. One hundred percent (100%) of Lindsey Hill's new plantings shall be chosen from San Marcos Preferred Plant List (as adopted in the 2018 San Marcos Development Code rewrite).
2. At least sixty-five percent (65%) of new plantings (other than grass and trees) shall be drought-tolerant, flowering plants.
3. The Project shall not be subject to the requirement that a minimum of seventy-five percent (75%) of the required landscaping be installed between the property line and the building façade. Instead, landscaping shall be achieved within the green space illustrated within *Figure 1-1*. This area shall not be permitted to be 100% paved.
4. The property owner, condo association, or HOA shall maintain all landscaped areas in a healthy, neat, and orderly manner free of refuse and debris.
5. All trees shall be maintained in accordance with the ANSI A300 Pruning Standard and ANSI Z133.1 Safety Standards.



Examples of drought-tolerant, flowering plants.



Tree Preservation

The Project Site currently contains ten (10) specimen trees with canopy sizes of at least 30'. The tree along Hutchison Street adjacent to the condo building may be removed during demolition of the adjacent existing building or construction of the condominium building and will need to be mitigated as part of the Site Preparation Permit. An updated tree survey will be provided at the time of site plan.

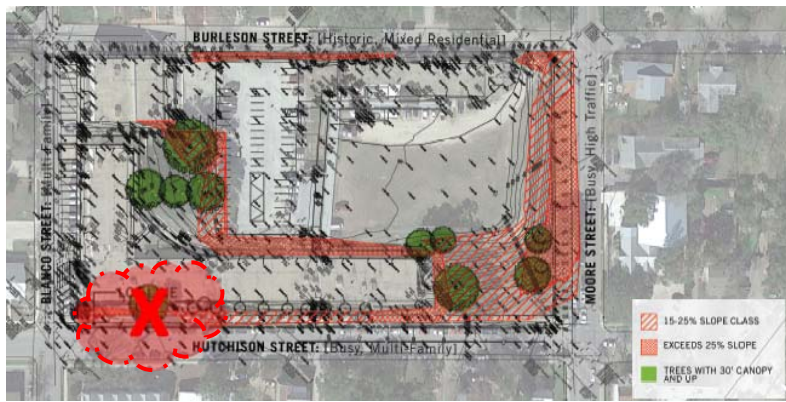


Figure 3-3: The green circles depict existing trees with canopy sizes of 30' or greater.

3.3 Exterior Lighting

The Project shall provide pedestrian scaled lighting along Lindsey Hill's pedestrian pathways. Light fixtures shall be pole or building mounted, and lighting may be integrated into the trees and landscaped areas. Pole mounted light fixtures shall not exceed twenty feet (20') in height.

The Project shall follow the photometric and illumination requirements of the Land Development CodeDC.

3.4 Parking

The following chart provides a detailed analysis of the parking requirements for each land use within the Lindsey Hill project.

Minimum Parking Requirements

Land Use	Minimum Parking Ratio	Location
Multifamily	.85 spaces per bedroom	Main Garage
Retail/Commercial	1 space per 250 SF of retail area	Main Garage
Office	1 space per 300 SF of office area	Main Garage
Condominium	1.5 spaces per condo unit	Condo Garage

Overall parking requirements at the Project shall be calculated using the above minimums and reduced pursuant to Section 7.1.3.1 - Shared Parking, and Table 7.3 – Parking Occupancy Table as outlined in the San Marcos Development Code adopted in 2018.

Commented [HA20]: Consider including this table in the document since it is new

3.4.A On-Street Parking

In addition to the parking spaces in the Main Garage and the Condo Garage, on-street parking will surround this two-block large property on three sides.

Blanco Street Frontage: The prior school use was supported by parking that was fully within the Property's boundaries. As part of the planned Lindsey Hill redevelopment, at the request of the City, the Project's Blanco frontage expands the pedestrian right-of-way by including wide sidewalks with landscape/tree well zones on each side of the sidewalk causing the existing Blanco parking spaces to turn into a hybrid where a portion of each space is within the Project Site and a portion extends into the public right-of-way. Since the developer is creating an improved condition by providing an enhanced pedestrian frontage, Blanco spaces will be credited to the Project's parking requirement and any or all of those spaces may be reserved for the exclusive use of the residential condominium building and/or for other Lindsey Hill uses.

Commented [VA21]: Staff feels that all on street parking should remain available for the public

Commented [VA22]: General Note: Site is not currently platted as one lot. Right-of-way will most likely be obtained during platting process.

3.4.B Parking Garages

Lindsey Hill's main parking garage, located in the center of the Project Site, will have a vehicular access point and an adjacent pedestrian access point on Burleson. The residential condominium building's parking garage, located in the ground level of the condo building, will have a vehicular access point (and

possibly pedestrian access) on Blanco Street. ~~A portion of the parking spaces within the condo garage may be tandem.~~

Parking Garage Requirements:

1. Main parking garage vehicular access point may be positioned anywhere along the garage edge along Burleson Street.
2. Parking garage vehicular access points ~~may be up to~~ may be no wider than 24' wide (plus adjacent pedestrian access).
3. Main parking garage may include below-grade parking.
4. Main parking garage will be substantially obscured from public view through the positioning of other buildings and/or through the use of special architectural features.
5. Recreational amenities and other facilities (which may include a pool, pool deck, community space, sport courts, terrace, green roof, gardens, solar panels, etc.) may be on the main parking garage's rooftop level.
6. Parking garage entrance/exit gates, doors, etc. shall be recessed from the main building façade a minimum of four feet (4').
7. Curb stops will be provided as necessary throughout the parking garages.
8. Parking spaces within the garages shall be a minimum of 8'6" wide.
9. No parking spaces shall be required to be marked as "visitor" parking spaces.
10. To provide for turnaround space at a garage's dead end, one parking space at the dead end shall be reserved as a "no parking, dead end turnaround space" and an additional three feet (3') shall be available beyond that space to allow for vehicle maneuvering.
11. Spaces or sections within the garages can be blocked off with signage, gates, etc. as necessary for resident use and/or other purposes, however, required retail/commercial spaces shall not be blocked off other than by the garage's main access gates.
- ~~11-12.~~ A portion of the parking spaces within the condo garage may be tandem.



3.5 Vehicular Loading and Access

Vehicle loading and access shall be restricted to the short-term vehicle loading zones on Burleson and Hutchison Streets, and the waste management area along the Blanco Street frontage. Additionally, parking spaces along Blanco may be utilized as a new resident move-in area.

3.5.A Short Term Vehicle Loading Zones on Burleson and Hutchison

One loading zone may be provided on each of the Burleson and Hutchison Street frontages. As depicted in *Figure 1-1*, the Burleson loading zone shall be located east of the parking garage access point near a planned pedestrian entrance on Burleson near Moore Street. Also in *Figure 1-1*, the Hutchison loading zone shall be located near where the condo building meets the multifamily/retail building.

Loading Zone Requirements and Checklist:

1. Loading zones may be located within the on-street parking lane only.
2. Appropriate signage shall be installed at the Project's expense.
3. Loading zones shall have a maximum length of forty feet (40').



Commented [VA23]: The purpose of each loading zone needs to be clearly stated. (example: temporary tenant move in, retail delivery, etc.)

3.5.B Waste Management

Waste management for the Project is centralized in order to reduce public disruptions. Waste containers will be stored in the area adjacent to the gym building (as depicted in *Figure 3-4*). Additionally, waste management for the condo building may occur within the condo building's garage.

Waste Management Area Requirements and Checklist:

1. To facilitate use of waste management areas, truck movement may occur within the public right-of-way.
2. Trucks will be permitted to cross the sidewalk in waste management areas in forward or reverse.
3. In the area where trucks cross the sidewalk, additional measures shall be taken in order to enhance pedestrian safety. Such measures shall include different pavement, special signage, special lighting and/or sound-making devices.
4. Waste management area gates, doors, etc. shall be setback a minimum of four feet (4') from adjacent building frontages.
5. Waste management access area shall have a throat width (depicted in *Figure 3-4*) of up to sixteen feet (16').
6. Waste management areas will be entirely screened from public view and will be located behind gates not to exceed ten feet (10') in height, ~~and such gates shall not have a transparency requirement.~~ The waste management area access gates alone shall satisfy any loading dock screening requirements under LDC Section 6.1.2.4(a).



Example of paving to safeguard pedestrians at vehicular crossings



Example of signage to safeguard pedestrians at vehicular crossings

7. Trash access, chutes, and/or waste closets will be available inside buildings or in parking garages within 350' of each multifamily unit.

Commented [VA24]: This is a more appropriate section to show the loading zone areas.

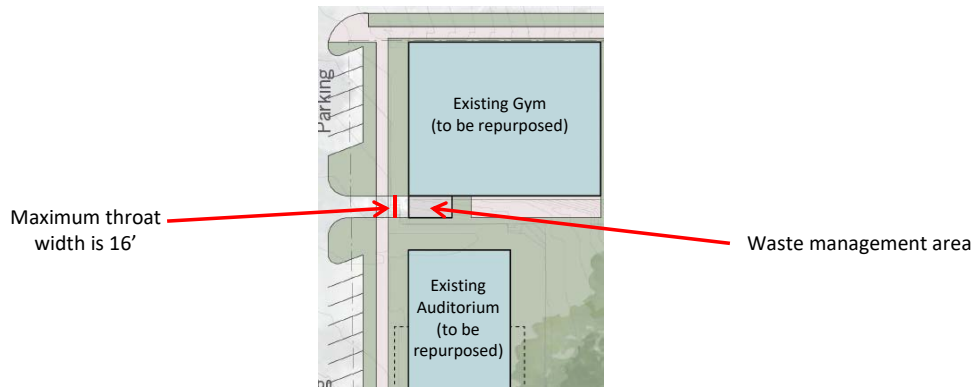


Figure 3-4: Waste management area concept plan.

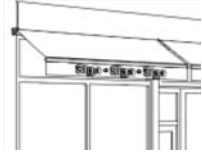

3.6 Signage



Signage within the Project Site shall be subject to the signage standards applicable under the Base Regulations and the standards set forth below. ~~In the event that a conflict may arise between the two, the standards contained within this PDD Standards Book shall prevail.~~



Commented [HA25]: A blanket statement is provided in the summary for the PDD document. There is no need to repeat

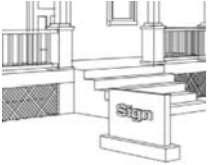
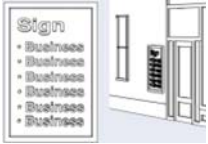
Figure 3-5 depicts sign types and their permitted frontages within the PDD.



Figure 3-5: Sign types and permitted frontages

<u>Sign Type Defined</u>	<u>Depiction</u>	<u>Permitted Frontage(s) and Regulations</u>
Awning or Canopy Sign: A sign painted on or attached flat or flush against the surface of an awning or canopy.		Permitted Frontages: Hutchison, Blanco a. One awning or canopy sign is permitted per business. b. The sign may be placed on either the vertical valance flap, the sloped portion, or on a side panel of the awning or canopy. c. The sign shall not extend below or above the awning or canopy to which it is attached. d. When properly installed on canopies, canopy signs may extend into Setback Zones. e. An awning or canopy sign shall not exceed three feet (3') in height. f. An awning or canopy sign shall not exceed twelve feet (12') in length.
Projecting Sign: A sign that is attached directly to the building wall and which extends out from the face of the wall.		Permitted Frontages: Hutchison, Blanco, Moore, Burseson (on Burseson, limited to wayfinding signage for parking garage only) a. One projecting sign is permitted per building façade. b. Sign area shall not exceed nine square feet (9 SF) for each projecting sign. Notwithstanding the foregoing, one projecting sign on the Moore Street frontage may be up to eighteen square feet (18 SF). [continued on next page]

<p>Projecting Sign [continued from prior page]</p>		<ul style="list-style-type: none"> c. A projecting sign must maintain a minimum eight foot (8') clearance above the sidewalk or finished ground surface below the sign. d. A projecting sign may be attached to the building façade. e. For single story buildings up to sixteen feet (16') in height, a projecting sign may extend no more than fifty percent (50%) of the sign height up to a maximum of two feet (2') above the parapet or roof of the structure to which it is attached. For all other building heights, a projecting sign may not extend above the parapet or roof of the structure to which it is attached. f. Projecting signs may penetrate the Setback Zone by up to thirty-six inches (36") from the building face.
<p>Hanging Sign: A sign that is hanging or suspended (such as by chains or hooks) from a canopy, awning, or building overhang.</p>		<p>Permitted Frontages: Hutchison, Blanco</p> <ul style="list-style-type: none"> a. One hanging sign is permitted per business. b. A hanging sign must maintain a minimum eight foot (8') clearance above the sidewalk or finished ground surface below the sign. c. Sign area shall not exceed six square feet (6 SF) for each hanging sign. d. Hanging Signs are permitted within Setback Zones adjacent to retail/commercial spaces
<p>Sandwich Board: A portable sign designed in an A-frame or other fashion, and having back-to-back sign faces.</p>		<p>Permitted Frontages: Hutchison, Blanco, Moore</p> <ul style="list-style-type: none"> a. One sandwich board sign is permitted per business. b. The area of each face of sandwich board shall not exceed twelve square feet (12 SF). c. The overall sign shall be no taller than four feet (4'). <p>[continued on next page]</p>

<p>Sandwich Board [continued from prior page]</p>		<ul style="list-style-type: none"> d. A sandwich board within the public right-of-way must be placed such that at least a six foot (6') unobstructed sidewalk width remains. e. Sandwich board signs may be "A-frames" or spring base. f. A sandwich board must have a stable base. g. Sandwich boards shall be removed at the close of business each day
<p>Retaining Wall Sign: A sign that is engraved, painted on, or attached directly to a retaining wall.</p>		<p>Permitted Frontages: Hutchison, Moore (adjacent to Poet's Corner)</p> <ul style="list-style-type: none"> a. Two retaining wall signs are permitted near the corner of Hutchison and Moore Streets adjacent to Poet's Corner. b. Signs shall be attached to the retaining wall. Three-dimensional signage is permitted, but shall not extend more than twelve inches (12") beyond the face of the wall. c. Signs shall not exceed four feet (4') in height and sixteen feet (16') in length. d. Signs shall not extend beyond or above retaining wall edges. e. Signs shall be located fully behind sidewalks
<p>Wall Sign: A sign that is engraved, painted on, or attached directly to the building wall within a Sign Band on the building facade.</p>		<p>Permitted Frontages: Hutchison, Blanco, Moore</p> <ul style="list-style-type: none"> a. One wall sign is permitted per business. b. Wall signs shall be located within a single external sign band located on the first story façade. Additionally, in the event that office space is incorporated into the Project, signage for office tenants may be located within a second sign band near the top of the building on the Hutchison or Blanco Street frontage. <p>[continued on next page]</p>

<p>Wall Sign [continued from prior page]</p>		<ul style="list-style-type: none"> c. Wall signs should be attached flat to the wall. Three-dimensional signage is permitted, but shall not extend more than twelve inches (12") beyond the face of the wall. d. The sign band shall not exceed three feet (3') in height.
<p>Monument Sign: A sign that is erected on a solid base placed directly on the ground, and that is itself constructed of a solid material.</p>		<p>Permitted Frontages: Hutchison, Blanco, Moore, Burleson (on Burleson, limited to wayfinding sign for parking garage only)</p> <ul style="list-style-type: none"> a. Monument signs shall incorporate a supporting base that is at least seventy-five percent (75%) of the width of the sign face at its widest point. The supporting base shall be constructed of brick, stone, masonry, or scored concrete. b. Sign area shall not exceed eighteen square feet (18 SF). c. Sign height shall not exceed four feet (4'). d. Monument signs may be installed within Setback Zones, but shall be at least two feet (2') behind sidewalks.
<p>Directory Sign: A sign that displays the tenant name and location for a building containing multiple tenants.</p>		<p>Permitted Frontages: All</p> <ul style="list-style-type: none"> a. One directory sign is permitted at each street-level entrance to upper-floor businesses and residences, and on facades facing entrances to alleys, rear lanes and parking lots. b. The area of a directory sign shall not exceed six square feet (6 SF). c. Directory signs shall be no taller than three feet (3'). d. Digital, internally lit signs permitted.

<p>Window Sign: Signs affixed, painted, or etched to windows or hanging inside of windows that are visible to the exterior of the building.</p>		<p>Permitted Frontages: Hutchison, Blanco</p> <p>Shopfront window signage may be up to 30% of the window area.</p>
<p>Pole Sign: Signs mounted on one or more freestanding supports, such as a frame, column, mast, pole, or similar support such that the bottom of the sign face or lowest sign module is not in contact with the ground.</p>		<p>Permitted Frontages: None – Pole signs are not permitted at the Project Site.</p>

PDD Signage Standards

1. Calculating Sign Area: The sign area is calculated as the largest area of the sign visible at any one time from any one point and enclosed by a rectangle, including any framing or trim, but not including any structural parts lying outside the limits of the sign and which do not form an integral part of the display. If the copy is enclosed by a box, outline or frame, area is the total area of the enclosure. If the sign consists of individual letters, numbers or symbols, on a surface or having no frame, area shall be the sum of the areas of the rectangles which can encompass each portion of the copy. The area of four-side signs is considered the same as two double-faced signs.
2. Illumination
 - a. Signage within the PDD shall be externally illuminated, except for the following signage, which may be lit by neon, LED, halo, or Diffused Internal Illumination (defined below) or by later emerging lighting/illumination technologies as may be approved in future iterations of the San Marcos Development Code:
 - i. Signage within the shopfront glazing.
 - ii. Signage located along Moore Street and signage at the corner of Moore and Hutchison Streets.
 - iii. Wall signs serving retail/commercial or office tenants on the Hutchison or Blanco frontages.
 - b. Diffused Internal Illumination: A source of illumination entirely within the sign which makes the sign content visible at night by means of the light being transmitted through a translucent material, but wherein the source of the illumination is diffused by a solid front panel.
3. Temporary Signage



Sandwich board signs allowed (with restrictions)

Commented [VA26]: Question for Developer: Do you mean this to be the same as potential window signs? Or is this for "open" signs, etc.

- a. A maximum of two (2) temporary signs shall be permitted on each of the Hutchison, Moore, and Blanco Street frontages for a period not to exceed 90 days within a calendar year with an approved permit.
- b. Each individual temporary sign shall not exceed 32 SF in area.

3.7 Impervious Coverage

	MU	PDD
Allowable Impervious Cover (max)	60%	80%
Hillside Impervious Cover		
- 15-25% Slopes	35%	See Section 6.4
- Greater than 25% Slopes	20%	

Commented [VA27]: The image from Section 6.4 should be relocated to this Section. Please use this table to describe the deviation requested in the PDD.

3.8 Water Quality and Permanent Best Management Practices

The base Mixed Use zoning regulations limit impervious cover to sixty percent (60%). 80% is permitted for the Project. Increasing impervious cover may have negative impacts on water quality. In an attempt to reduce potential water quality impact, the following standards shall apply to the Project Site:

- A. That portion of impervious cover that is greater than sixty percent (60%) of the Project Site shall be designed and operated to achieve storm-water pollutant removal through the use of PBMPs reasonably approved by the City.
- B. Removal of a minimum of seventy percent (70%) of the Project's increase of Total Suspended Solids ("TSS") shall be achieved for that portion of impervious cover that is greater than sixty percent (60%) of the Project Site.

Commented [VA28]: Staff will confirm with Engineering what the requirement is under old and new code. If this is a reiteration of code, then it can be removed.

3.9 Erosion Control

Cuts between 4 feet and 8 feet are allowed with approval of the Director of Engineering and Capital Improvements. Cuts greater than 8 feet require approval of a variance by City Council. It is anticipated that construction of Poet's Corner may require significant grading which would require such a variance to implement the amphitheater concept in the PDD.

This section does not modify LDC Section 5.1.1.2(e)(3) regarding cuts within a building footprint.

Commented [VA29]: It doesn't appear that this section is requesting a change, but rather reiterating section of code. If so, it should be removed. A variance request to cut and fill requirements is going to be required. Such variance cannot be granted as part of the PDD.

3.10 Fences and Walls

Commented [VA30]: Relocated with gates Section 3.1 above

Fences and walls at the Project will be sited in the locations outlined within *Figure 3-6* below:

Fencing/Wall Requirements

- Fencing six feet high or above ~~above~~ shall be at least fifty percent (50%) transparent.
- 1. ~~The maximum height of fencing shall be 8 feet.~~
- 2. ~~Fencing/walls permitted materials list: stone, brick, concrete, masonry, wood, and metal, or other innovative materials. Chain link or solid wood fencing is not permitted.~~
- 3. ~~The Moore Street fence/wall will provide screening and noise abatement from the adjacent busy, noisy roadway. The following applies to the Moore Street fence/wall:~~
 - a. ~~Entry gates may be incorporated into and “in line” with the wall.~~
 - b. ~~Entry gates and fence/wall have a max height of 66”.~~
 - c. ~~No transparency requirement for this fence/wall.~~
 - d. ~~Inclusion of this wall and related landscaping shall fully satisfy the screening requirement under LDC Section 6.1.2.1(b)(1) related to multifamily use on the Moore Street frontage.~~
 - e. ~~There shall be no easement or land dedication to the City related to the wall or adjacent landscaping for maintenance or any other purposes.~~

Commented [VA31]: Remove. All fences should be on private property.

- 4.0 STREET DESIGN & AMENITIES
 - 4.1 Hutchison Street Streetscape
 - 4.2 Moore Street Streetscape
 - 4.3 Burleson Street Streetscape
 - 4.4 Blanco Street Streetscape
 - 4.5 Streetscape Standards Matrix

Streetscapes

4.0 Street Design & Amenities

The street sections below are provided to illustrate required elements that will be part of Lindsey Hill's streetscape. These illustrations are also intended to establish minimum dimensions of required streetscape elements on the subject property, in the right-of-way, or as required as part of a TIA, and right-of-way components. ~~While the below drawings depict intended conditions within the right-of-way and on nearby properties, the Project developer shall be responsible only for modifications and upgrades on the Lindsey Hill site (and expressly shall not be responsible for modifications and upgrades to any other property).~~

Commented [VA32]: This sentence needs to be removed as the Project will likely require work within the Right-of-Way

Additionally, language needs to be added regarding the maintenance, irrigation, landscaping warranty of the streetscape. Also, specify the entity who is responsible (developer, HOA?) etc.

4.1 Hutchison Street Streetscape

Figure 4-1 depicts streetscape design on the Hutchison Street frontage.

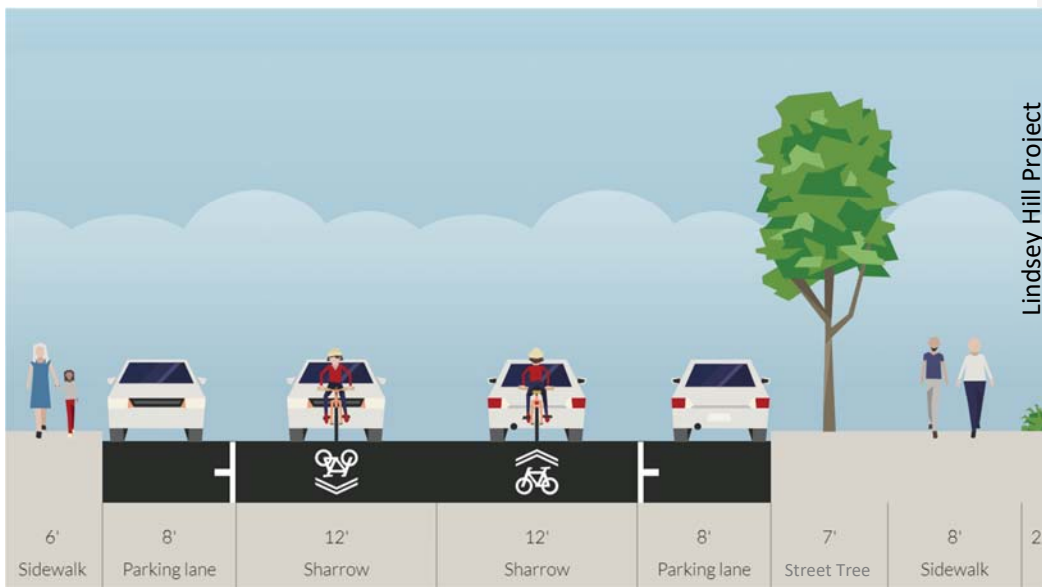


Figure 4-1: Hutchison Street streetscape design.

4.2 Moore Street Streetscape

Figure 4-2 depicts streetscape design along the Moore Street frontage. Forecourts will be included adjacent to multifamily buildings fronting Moore Street (forecourt wall requirements are outlined in Section 3.10 – Fences and Walls).



Figure 4-2: Moore Street streetscape design concept adjacent to multifamily building.

4.3 Burleson Street Streetscape

A portion of Lindsey Hill's Burleson Street frontage is across from properties that are zoned single-family. The entirety of those properties are within the Lindsey-Rogers Historic District.

~~Because a portion of that frontage is more sensitive than the other street frontages, the Burleson streetscape's street tree zone shall be softened by plantings and landscaping.~~

Commented [HA33]: This is not enforceable without standards

Figures 4.3 and 4.4 depict streetscape design along the Burleson Street frontage.



Figure 4-3: Burleson Street streetscape design concept adjacent to existing gymnasium building.

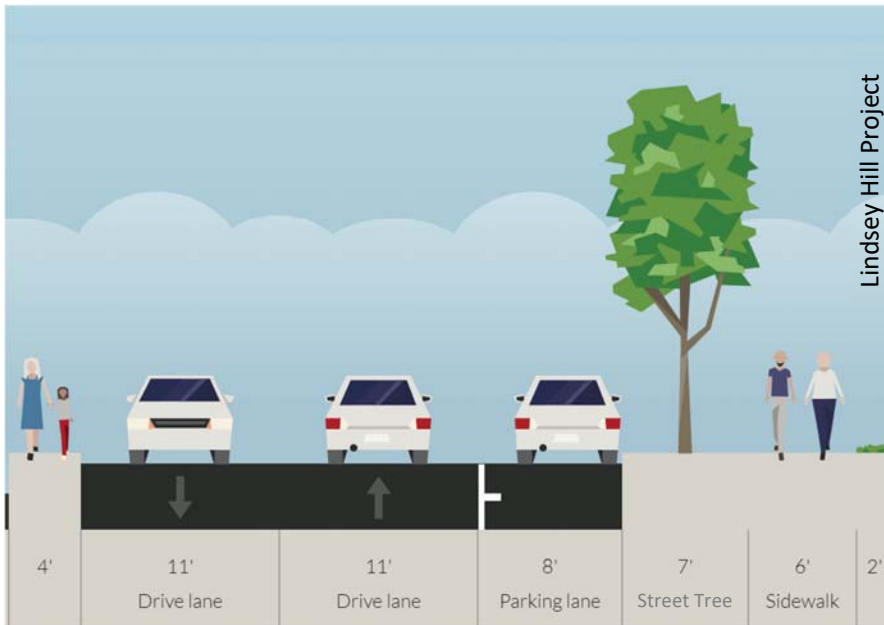


Figure 4-4: Burleson Street streetscape design concept adjacent to new construction.

4.4 Blanco Street Streetscape

The Blanco Street frontage includes the repurposed gymnasium and auditorium buildings, the narrow side of the condo building, waste management facilities, and parking. *Figure 4-5* depicts streetscape design on Blanco.

Of additional note with regard to *Figure 4-5*, the 2015 version of the International Fire Code (“IFC”) requires that buildings over thirty feet (30’) in height be setback no more than thirty feet (30’) from the nearest adjacent fire lane. Although the City of San Marcos Fire Marshal has some discretion regarding this requirement, *Figure 4-5* provides a special note for an alternative Blanco Street design in the event that the above IFC requirement is determined to be an issue at the time of site and building permitting. Under that scenario, a portion of the street tree zone and/or bulbout shall instead be line-striped as a fire access lane so as to bring the building within 30’ of the roadway and to widen the roadway in order to permit access for fire department apparatus.

Street trees along the Blanco frontage may be clustered to allow for the needs of the condo building drive lane, the waste management area access point, and the parking areas.

Commented [VA34]: This section requires re-reviewed by the Fire Department.

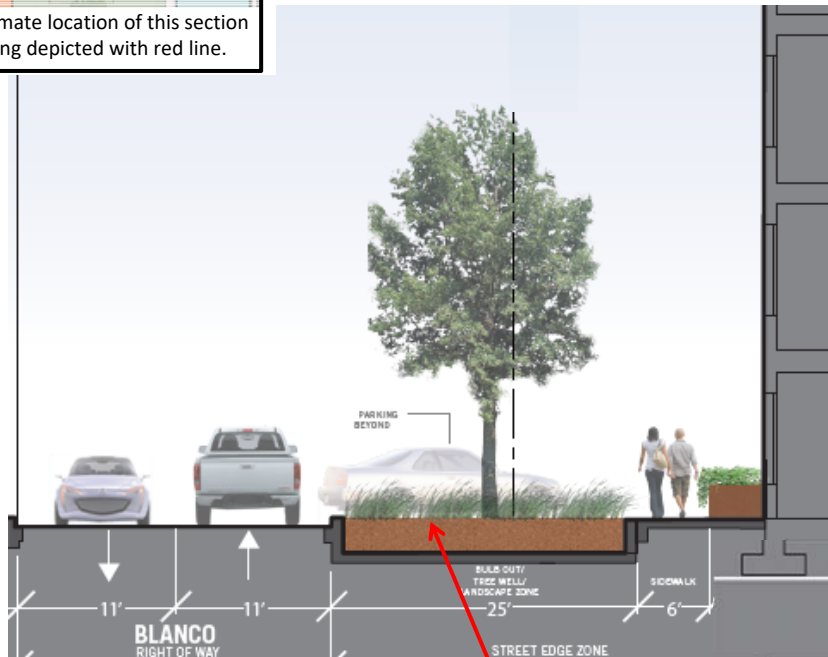
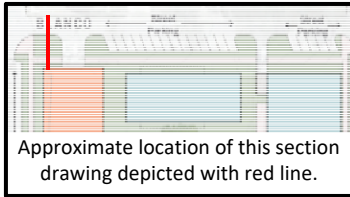


Figure 4-5: Blanco Street streetscape design.

If necessary to account for fire department requirements, street tree zone and bulbout may be reduced and line striping installed to create an appropriate fire zone, fire apparatus access, and allow condo building to be within 30' of fire access area.

4.5 Streetscape Standards Matrix

R – Required Condition
P – Permitted Condition
U – Prohibited Condition

Pedestrian Streetscape Standards

	City Standard	Hutchison	Moore Street	Burleson Street	Blanco Street
Sidewalk Width (feet, minimum)	4	8	6	6	6
Sidewalks constructed of cast-in-place concrete, stamped concrete, pavers, tile, and/or other similar materials that meet City standards. ^d		R	R	R	R
Pedestrian-scaled lighting along sidewalks.		R	R	R	R
Street Tree Zone Width (feet, minimum)		7	7	7	7 ^f
Spacing Between Street Trees Required in Street Tree Zones (feet, maximum)		30	30	30	30 ^f
Waste Receptacles in Street Tree Zone ^{c,e}		R	R	R	R
Bicycle Racks in Street Tree Zone ^{c,e}		R	P	R	R
Internal Landscape Edge ^b (feet, minimum)		2	2	2	2

Vehicular Right-of-Way Standards^g

	City Standard	Hutchison	Moore Street	Burleson Street	Blanco Street
Total Vehicular ROW Width Including Parking Lane(s) (feet) ^g	53	40 ^j	37	30 ^j	40
Number of Vehicle Travel Lanes	2	2	3	2	2
Travel Lane Width (feet)	10 - 11 ⁱ (11 - 12 ^h)	12 (with sharrow)	11 (east bound) 15 (west bound)	11	11
Parking	Yes - 2 sides (Restricted ^h)	2 sides ^j	None	South side only ^j	East side only
Parking Type		Parallel	N/A	Parallel ⁱ	Head-in or angled
Parking Lane Width (feet)		8 ^j	None	8 ^j	18.25 (depth)
Vehicles May Back Into Public Right-of-Way		U	U	U	P ^k
Parking Spaces may be reserved or closed by Lindsey Hill, and may be blocked-off using signs, cones, temporary pylons, etc.		U	N/A	U	P

Commented [VA35]: Changes to table:

- In letter (d), revise to remove "or with crushed granite or other pervious or semi pervious material" and replace with "or alternative material as approved by the City Engineering Department".
- The table calls out the "Street Tree Zone", however, the cross-sections refer to it as simply "Street Tree". "Zone" needs to be added to the cross-sections for consistency.
- Letter (f) needs to be removed as staff is not in agreement about the on-street parking on Blanco and the ROW line is still undetermined. The Street Tree Zone should be dedicated to plantings and landscaping.
- In the table, an abbreviation needs to be added behind "Internal Landscape Edge" of "(ILE)" and add this abbreviation to the cross-sections where they depict the 2' strip. This way there is a connection to the table and the cross-sections.
- In letter (g) the following needs to be added to the end of the sentence "additional right-of-way may be required at the time of plat".
- In the 2nd table, Burleson has (2) versions of vehicular ROW width including parking lanes. This needs to be revised so that the table states "22, 30" to reflect these two scenarios.
- In the 2nd table, the "head in" option needs to be removed. The city does not allow 90 degree head-in parking as a cross-section type. Angled can be left as an option.
- In the 2nd table, the "P" on the Blanco Frontage needs to be removed which would allow parking spaces to be reserved or closed by Lindsey hill.. etc. This is a topic that has not been agreed upon by staff.

^b - Internal Landscape Edge adjacent to buildings may be at any elevation, or at multiple elevations (terraced, sloped, etc.). Internal landscape edge adjacent to retail area may be at sidewalk grade, patio grade, or anywhere in between.

^c - Bike racks and waste receptacles shall be located adjacent to retail spaces and Poet's Corner, among other locations.

^d - Except as necessary for handicapped accessibility, internal sidewalks may be constructed with any of these materials or ~~with crushed granite or other pervious or semi-pervious materials.~~

^e - Bike racks and waste receptacles shall be located convenient to condo access points and other pedestrian entrances.

^f ~~Street tree zone shall be designed in a manner that allows for the needs of parking, waste dock, and other Blanco frontage elements, including clustering of street trees as necessary.~~

^g - Proposed vehicular right-of-way alterations to existing city streets are based on City professional staff requests and feedback.

^h - Moore Street only.

ⁱ - For streets with parking lanes.

^j - Condition varies adjacent to existing gym building and in Burleson and Hutchison St. Loading Areas. See Figure 4-4 for further detail.

^k - Blanco St. parking may be sited less than five feet (5') from public R.O.W. and/or may be partially within public R.O.W. and partially on the Property. Because of that, vehicles may be required to back into the public R.O.W. from the Property. Waste pickup vehicles also may back into public R.O.W.

- 5.0 ARCHITECTURAL GUIDELINES
- 5.1 Building Setbacks (for new construction)
 - 5.2 Frontage
 - 5.3 Building Height
 - 5.4 Contextual Height Stepdown
 - 5.5 Expression Requirements
 - 5.6 Street Level Glazing & Transparency
 - 5.7 Upper Floor Glazing & Transparency
 - 5.8 Balconies and Porches
 - 5.9 Retaining Walls at Street Level
 - 5.10 Materials
 - 5.11 Mechanical Equipment & Utilities
 - 5.12 Garage Visibility

Architectural Guidelines

5.1 **Building Setbacks (for new construction)**

The following minimum setbacks shall be applicable for new buildings along each frontage at the Project Site.

<u>Street Frontage</u>	<u>Building Setbacks</u>
Hutchison Street	Condo building: 10 feet All other buildings: 16 feet
Moore Street	10 feet
Burleson Street	8 feet
Blanco Street	17 feet

5.1.A Measuring Setbacks; Prohibited Features in Setbacks. Setbacks shall be measured from the property line. All new buildings and projections (other than those items described in this PDD Standards Book that are specifically permitted within Setbacks) shall be located behind the Setback.

5.1.B Permitted Features in Setbacks: The following are permitted to encroach into Setbacks, however, the full width of the required sidewalks and right-of-way shall be maintained and no obstructions shall be allowed on the public sidewalk (other than a sandwich board sign as noted in Section 3.6 - Signage of this Book). All sidewalk cafes and similar special uses within the public rights-of-way shall be subject to the Streetscape Ordinance (2015-33) as applicable:

- lighting, fans, heaters, outdoor fireplaces, fountains, art, decorative elements, and all other similar elements and amenities;
- architectural features such as eaves, overhangs (including building roof overhangs), gutters and downspouts, bay windows, cornices, uncovered stairs and ramps, planters, retaining walls, canopies, shade structures, arbors, and awnings;
- signage (as specifically described in Section 3.6 - Signage of this Book);
- ground-floor forecourts and patios;
- seating, dining areas, knee walls and partition walls, and other elements associated with seating and dining areas; and
- adjacent to the retail/commercial areas on Hutchison Street, single-level or tiered decks, porches, and patios (and any associated railings, benches, or barriers), and patio-roof coverings.

Frontage (defined below in Section 5.2) elements also shall be allowed within Setbacks.

Figure 5-1: The following examples depict some of the elements permitted within Setbacks at Lindsey Hill.



Patio dining, awnings and overhangs, and associated posts and structural elements.



Shade covering, patio roof coverings, dining areas, heaters, lighting.



Patio seating, awnings and associated structural elements, decorative features.



Multi-level decks/patios serving retail/commercial ground floor uses, patio dining, fans, lighting, heaters.

5.2 Frontage

Frontage in this PDD Standards Book shall be considered the area between the building façade and the lot line. *Figure 5-2* depicts the various Frontage conceptual types that are permitted at the Project Site and on which streets ~~s-fronts~~ those Frontage styles may be incorporated. Notwithstanding *Figure 5-2*, features including sidewalks, Setbacks ~~s-Zones~~, tree well and landscape zones, and parking may be located within the lot line. Detailed depictions of features located within and outside of the lot lines can be found above in Chapter 4 - Street Design & Amenities. Frontage elements and design shall be subject to the requirements and allowances within Section 5.1 - Building Setbacks and Chapter 4 - Street Design & Amenities standards described above.

Figure 5-2: Frontage conceptual types.

	SECTION	PLAN	Permitted Frontage(s)
<p>a. Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and may be visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>			All
<p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence may be used at the Frontage Line to maintain street spatial definition. Porches shall be no less than 8 feet deep.</p>			All
<p>c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.</p>			All
<p>d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p>			All
<p>e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>			All
<p>f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and may have an awning that may overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.</p>			Hutchison Blanco Moore
<p>g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>			Blanco Hutchison Moore

Pedestrian Streetscape and Building Entrances Checklist (to be identified on future building plans)

1. Street facing windows or other openings on all levels.
2. A minimum of fifty percent (50%) of windows in multifamily buildings shall be operable.
3. A minimum of fifty percent (50%) of ground-floor apartment entrances along Burleson Street to be along the street. A minimum of fifty percent (50%) of ground-floor apartment entrances along Moore Street to be along the street.
4. Awnings or overhangs protecting street level entries.

5.2.A Retail/Commercial Frontage



Retail/Commercial Frontage Requirements and Checklist:

1. Outdoor seating and dining opportunities on terraces and decks are permitted. Outdoor seating in the public right-of-way will require a license agreement in accordance with city ordinances.
2. Retail decks and/or terraces are permitted to front Hutchison Street only.
3. Decks/terraces may be a single level or may be tiered with multiple levels.
4. Retail/commercial areas may also include decks and/or terraces along the edges of and facing into Poet's Corner.

5.2.B Condominium Building Frontage

Balconies may be incorporated into portions of the upper floor designs. Upper floor balconies not contained within the footprint of the building shall follow the requirements outlined in Section 5.8 – Balconies and Porches of this Book.

5.2.C Multifamily Frontage

Balconies may be incorporated into portions of the upper floor designs. Upper floor balconies not contained within the footprint of the building shall follow the requirements outlined in Section 5.8 – Balconies and Porches of this Book.

5.3 Building Height

Building heights and the calculation of building heights shall be as described in this PDD Standards Book, notwithstanding any provision of the LDC and without the need for a conditional use permit (“CUP”).

Building Heights Requirements and Checklist:

1. Maximum building height within the PDD shall be five (5) stories with a maximum height of seventy-five feet (75') for habitable building areas. Non-habitable areas (e.g., roof elements, etc.) may extend above the seventy-five foot (75') height limit.
2. Buildings up to four stories shall have a maximum permitted height of sixty feet (60') and buildings up to three stories shall have a maximum permitted height of forty-five feet (45').
3. For gabled, hipped, and pitched roofs, building height shall be measured from finished floor elevation at grade level to a point at the bottom of the roof eave at the upper most floor. *Figure 5-3* depicts how to measure building height for these types of roofs.
4. For roofs with a parapet, building height shall be measured from finished floor elevation at grade level to the highest point of the parapet wall.
5. Architectural features such as attics, spires, cupolas, towers, gabled and pitched roofs, green roofs, rooftop gardens, and mechanical equipment shall not be calculated as part of building height calculations.
 - a. For attics, spires, cupolas, towers, green roofs, rooftop gardens and mechanical equipment, a maximum additional height of up to twelve feet (12') shall be permitted. This equals a total height of up to eighty-seven feet (87').
 - b. For gabled, hipped, and pitched roofs, a maximum additional height of up to sixteen feet (16') shall be permitted, as measured vertically from a point at the bottom of the eave, to the roof ridge. This equals a total height of up to ninety-one feet (91').
6. The following design guideline pertains to ground level residential units on the Burleson frontage (“Burleson 1st Floor Units”). As illustrated in *Figure X.X* (to be provided by applicant), if the proposed finished floor elevation of any Burleson 1st Floor Unit exceeds five feet (5') measured

Commented [VA36]: The project includes buildings up to 5 stories. Staff has previously had concerns regarding the height of structures along Burleson Street. (The project is currently proposing a 3 story building, 4 story building, and a 5 story building at corner of Moore and Burleson)

Staff Recommendation: Currently, P and MU zoning allow for 4 stories by right. Council will need to make a determination regarding allowable height within PDD.

from the grade of the immediately abutting sidewalk, the portion of the building in which that unit is located shall be set back from the property line a minimum of twelve feet (12'). To accommodate this change in grade, a retaining wall having a maximum height of five feet (5') may be built adjacent to the sidewalk, followed by a landscaped terrace. The landscaped terrace area may be utilized by adjacent apartments. Railings that follow the requirements set forth in Section 5.8 – Balconies and Porches of this Book may be installed above the retaining wall. Knee walls up to five feet (5') high may be installed perpendicular to the building within the landscaped terrace in order to separate one apartment's landscaped terrace from another.

7. A basement with 50% or more of its perimeter wall area (measured from finished floor elevation) surrounded by finished grade is not considered a story and shall not be included when calculating building height. An example of this condition is illustrated below in *Figure 5-4*.
8. Retail/commercial spaces may have a maximum interior height up to 25'.

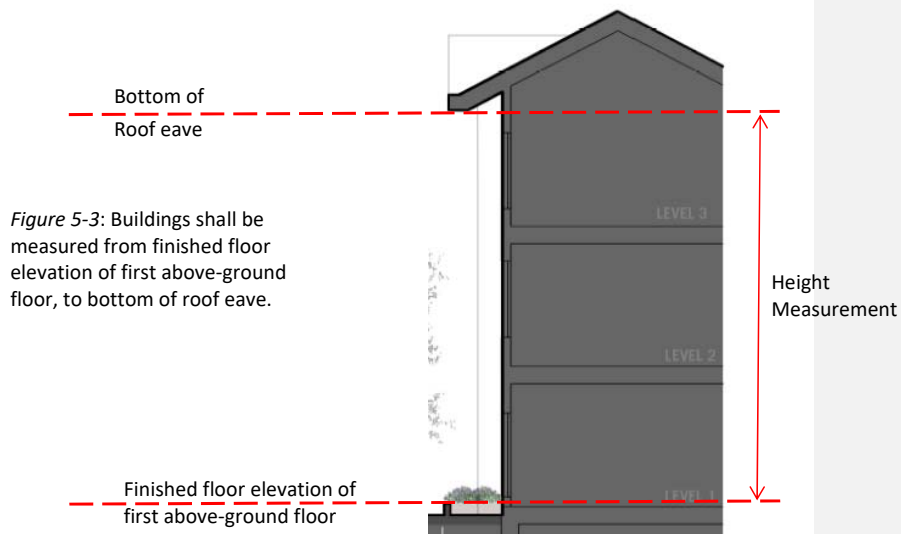


Figure 5-4: Example of basement with 50% or more of wall area surrounded by finished grade.

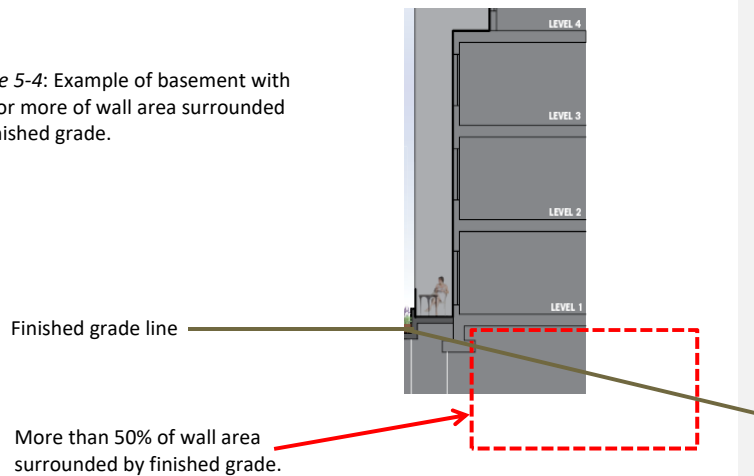
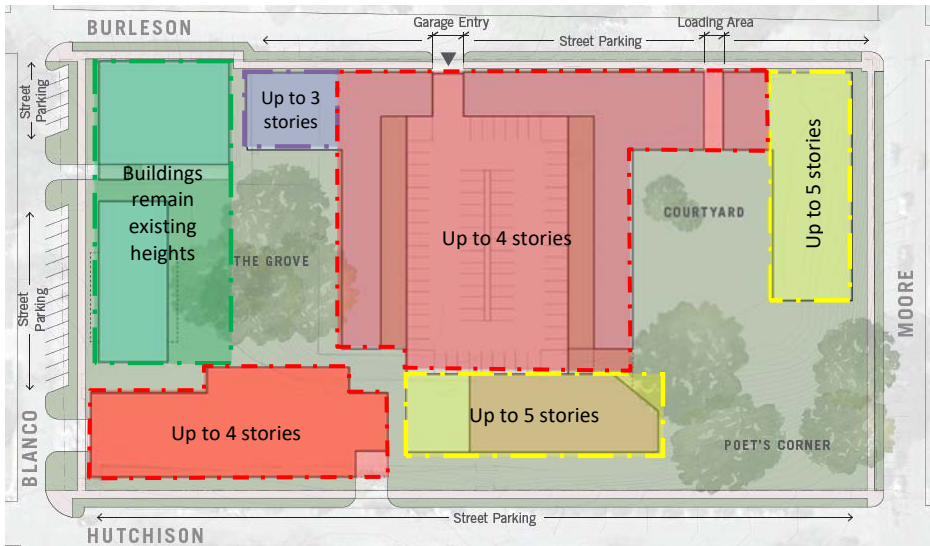


Figure 5-5: Maximum building heights throughout the Project Site.

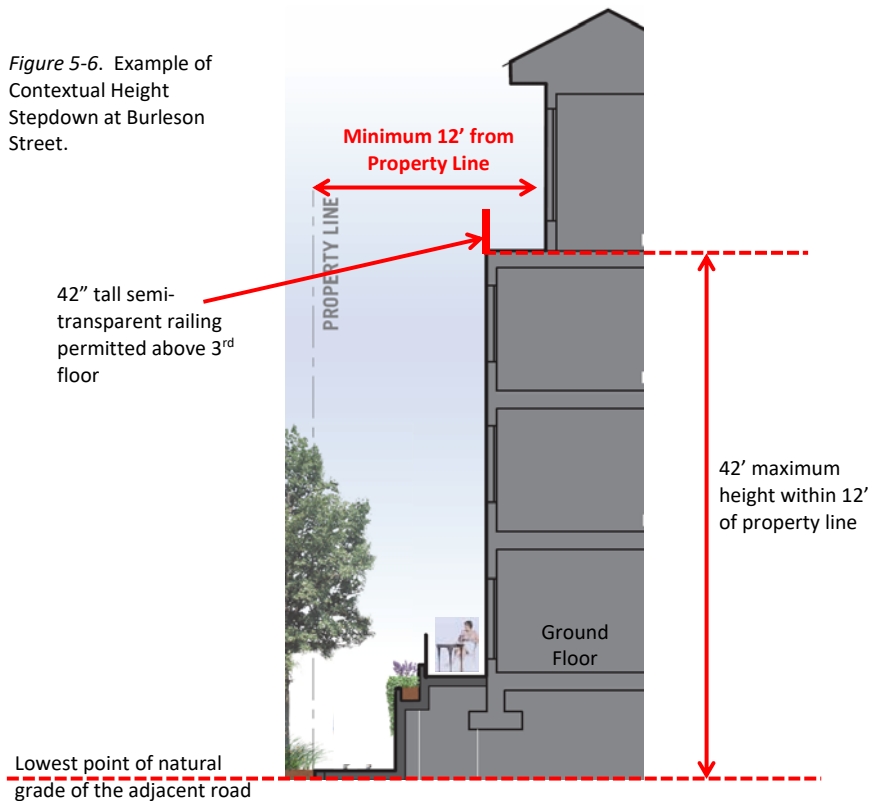
Commented [VA37]: The concept plan image needs to be utilized here (Figure 1-1) with building height overlays on top.



5.4 Contextual Height Stepdown





For new construction of buildings 4 stories or taller, a maximum building height of forty-two feet (42') is permitted within twelve feet (12') of the property line. This requirement applies to any portion of the building, including multi-story balconies not contained within the primary building footprint. Height at step down shall be measured from the lowest point of the natural grade of the adjacent road, along a line that is, as close as possible, perpendicular to the roadway, to the building's highest point that is within twelve feet (12') of the property line (except for buildings with pitched roofs, which shall be measured to the underside of roof eaves). Overhanging eaves of buildings affected by the Contextual Height Stepdown requirement may extend no more than thirty-six inches (36") into the required twelve foot (12') setback. Notwithstanding the foregoing, a forty-two inch (42") tall semi-transparent railing (constructed of the railing materials permitted in Section 5.8 – Balconies and Porches of this Book) is permitted above the maximum height in order to allow use of the stepped-back area above. An example of the Contextual Height Stepdown is depicted in *Figure 5-6*.


Figure 5-6. Example of Contextual Height Stepdown at Burses Street.



5.5 Expression Requirements

All new buildings within the PDD shall incorporate a minimum of two Horizontal Expression Tools from the matrix below. Additionally, all new buildings shall incorporate Wall Offsets as a Vertical Expression Tool.

<u>Horizontal Expression Tool</u>	<u>Pictorial Depiction</u>	<u>Frontage</u>
a. Varied Roof Height: An offset in parapet height (for flat roofs) or varied roof structure heights (for gabled or hipped roofs) of at least 2 ft. spaced at a minimum of every 60 ft. across the building frontage.		All
b. Canopy: Canopies or awnings which run across the full width of fenestrations on the first floor façade.		Hutchison Blanco
c. Second Floor Expression Line: A line prescribed at a certain level of a building for the major part of the width of a façade, expressed by a variation in material or by a limited projection such as a molding or balcony.		All
d. Cornice: A cornice detail of at least 18 in. height and 6 in. in depth for the entire width of the frontage.		All

<u>Vertical Expression Tool</u>	<u>Pictorial Depiction</u>	<u>Frontage</u>
Wall Offset: Façade modules of a maximum length of 60 ft. with a minimum of a 4 ft. offset from an adjacent module.		REQUIRED ON ALL FRONTAGES

5.6 Street Level Glazing & Transparency

In order to maintain the residential character and scale of the existing neighborhood, the following glazing and transparency requirements will be applicable for the street level (first floor) of building facades facing public streets.

Commercial street level (first floor) of building facades facing public streets:

1. Retail facades shall be glazed with clear glass no less than seventy percent (70%) on the first story.
2. Non-retail facades shall be glazed with clear glass no less than fifty percent (50%) of the first story.
3. Spacing between windows shall not exceed ten feet (10') on all new buildings.
4. For existing buildings, existing windows may be enlarged and/or relocated and additional windows may be added. However, the total window area shall not be decreased on such existing buildings. This requirement shall apply to existing windows on all floors and all levels of existing buildings.

Residential street level (first floor) new building facades facing public streets:

1. All residential facades shall be glazed with clear glass no less than thirty percent (30%) of the first story.
2. Windows shall have a lower sill not more than five feet, six inches (5'6") above finished floor.
3. Spacing between windows shall not exceed ten feet (10').






Condo building garage facing public streets

Along public street frontages, the condo building garage level shall be at least thirty percent (30%) open and include openings that are spaced not more than ten feet (10') apart. No glass shall be required within condo garage openings, but decorative elements are permitted.

5.7 Upper Floor Glazing & Transparency

For any new construction at the PDD, all upper floors of street-facing facades shall have a minimum glazed area of thirty percent (30%) and shall use a minimum of one upper floor window design tool specified in the table below.

Upper Floor Window Design Table

<p>a. Window Inset: The window pane is inset a minimum of 3 in. behind the surface of the wall.</p>	
<p>b. Window Frame: Each window opening is framed with trim that is a minimum of 1 in. depth and 2 in. width.</p>	
<p>c. Window Sill: Each window opening is defined by a sill, which extends a minimum of 2 in. from the wall surface, with a height of 3 in. and runs a minimum width equal to each window.</p>	
<p>d. Traditional Vertical Proportions: The window is proportioned similar to that of traditional buildings, with a height to width ratio of between 1.75:1 and 2.5:1. Traditionally proportioned windows may be "ganged" to create larger fenestration areas where the dividers between the windows have a depth of at least 2" and project at least 2" in front of the surface of the glass.</p>	
<p>e. True Divided Lights: Windows shall use true muntins.</p>	

5.8 Balconies and Porches

Balconies and porches either within the building façade or protruding from the building edge may be used throughout the Project, including along street frontages and adjacent to Lindsey Hill's open spaces.

Balconies and Porches shall not protrude into the right-of-way or Setbacks (other than as specifically described above in Section 5.1 – Building Setbacks) and may not overhang sidewalks.

Balconies and Porches Checklist:

1. Railings must be 50% transparent or greater.
2. Railings for balconies not contained within the primary building envelope and attached to the building's exterior shall be composed of ornamental metal, including but not limited to steel, aluminum, and/or cast iron. Concrete, metal, and/or wood may be used for decking and/or as structural components.
3. Balconies and railings shall be designed so that they blend into the buildings' architectural form.

5.9 Retaining Walls at Street Level

Additional design consideration shall be given to retaining walls that may occur at street level adjacent to sidewalks due to the Project Site's diverse and varying topography.

Requirements for Retaining Walls at Street Level Adjacent to Sidewalks:

1. Shall not exceed five feet (5') in height, as measured from the grade of the immediately abutting sidewalk.
2. Shall be articulated or broken by pilasters, piers, benches, planters, entrances, steps, or a similar feature or architectural design treatment at intervals of not less than twenty feet (20').
3. Shall be articulated by a landscape bed that is a minimum of twenty-four inches (24") in depth measured from the sidewalk face of the retaining wall.
4. Retaining walls shall be maintained in good condition and repair by the property owner.

Figure 5-7 depicts the landscape bed and retaining wall height requirements.

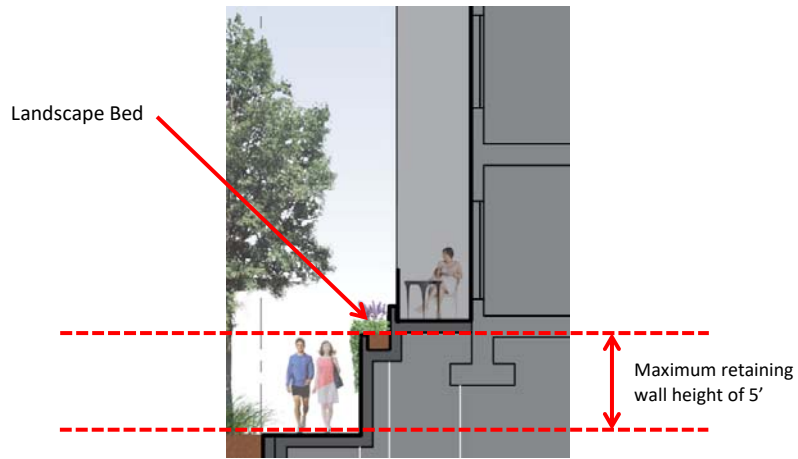


Figure 5-7: Sidewalk-adjacent retaining wall requirements.

5.10 Materials

All new buildings within the PDD shall be subject to the materials standards under LDC Section 4.4.2.1 Exterior Requirements for Buildings (as adopted on September 20, 2016). In addition to the materials permitted in LDC Section 4.4.2.1(c), the following material types are permitted to be mixed into new building exterior design on a secondary basis (less than ten percent [10%] of any façade) in order to allow for additional architectural detail: polyurethane, fiberglass or other synthetic materials, decorative, glass fiber reinforced concrete (GFRC), Nichiha, concrete (pre-cast or otherwise), and/or metal. EIFS and fibercement board is prohibited.

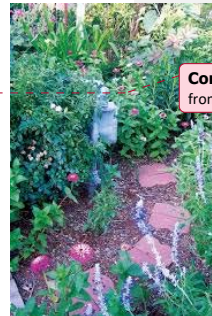
5.11 Mechanical Equipment & Utilities

With the exception of mechanical equipment installed at the waste management behind the waste management area gates and fences, all mechanical equipment shall be subject to the provisions of Section 4.4.3.2(1)(f) of the LDC. Rooftop mechanical equipment shall not be calculated as part of building height calculations and may extend to an additional height of up to twelve feet (12') above the maximum allowable building height for that portion of the building, and without any additional setback requirement. Rooftop mechanical equipment shall not be permitted to be mounted to gabled, hipped, or sloped roofs. Regardless, all rooftop mechanical equipment, including new and existing mechanical equipment mounted to existing buildings, shall be screened in accordance with LDC Section 4.4.3.2(1)(f).

New electrical, cable, telephone, and other similar lines required to service the Project shall be buried. Such new lines serving the Project shall not be aerially mounted.

5.12 Garage Visibility

All garage parking levels, including rooftop parking (if applicable), shall be surrounded by buildings or other architectural elements so that the parking structure is substantially obscured from street-level view. However, if amenities are located on the garage's rooftop level, rooftop-level openings that permit views of the street below from the rooftop amenity deck are permitted.



Acceptable utility screening examples above, unacceptable below.



Commented [VA38]: Council may want to consider language from the LDC which limits the use of fibercement board

- 6.0 APPENDIX
 - 6.1 Use Standards
 - 6.2 Variances & Enhancements Matrix
 - 6.3 Legal Description
 - 6.4 Hillside Slope Variance Depiction

Appendix

6.1 Use Standards

The PDD permits all of those permitted and conditional uses outlined below in Section 6.1.A –Land Use Matrix. Additional Permitted Uses are outlined below in Section 6.1.B – Additional Permitted Uses.

6.1.A Land Use Matrix

(Modifications from base standards are indicated in red)

Use	PDD
Farmers Market	P
Farms, General (Crops)	P
Accessory Building/Structure (No larger than 625 s.f. in size and 12' in height)	P
Accessory Building/Structure (Larger than 625 s.f. in size OR 12' in height)	C
Accessory Dwelling (One Accessory Dwelling Per Lot)	C
Bed and Breakfast Inn	P C
Caretaker's/Guard's Residence	P
Community Home	P
Residential Hall or Boarding House	C
Duplex/Two-Family/Duplex Condominiums	C
Family Home Child Care	P
Four Family (Quadrplex) or Three Family (Tri-Plex)	C
Fraternity or Sorority Building	C
Loft Apartments	P
Multifamily (Apartments)	C P
Single Family Detached House	P
Single Family Industrialized Home	P
Single Family Townhouse (Attached)	P
Single Family Zero Lot Line/Patio Homes	C
Armed Services Recruiting Center	P
Bank or Savings and Loan (w/o Drive-thru)	P
Bank or Savings and Loan (w Drive-thru)	C
Check Cashing Service	C
Offices (Health Services)	P
Offices (Medical Office)	P
Offices (Professional)	P
Call Service Center	P
Appliance Repair	C
Artist or Artisans Studio	P
Automobile Driving School (including Defensive Driving)	P
Automatic Teller Machines (ATM's)	P

Use	
Barber/Beauty College (barber or cosmetology school or college)	P
Barber/Beauty Shop, Haircutting (non-college)	P
Dance/Drama/Music Schools (Performing Arts)	P
Extended Stay Hotels/Motels (Residence hotels)	C
Exterminator Service (No outdoor sales or storage)	P
Kiosk (Providing A Retail Service)	P
Laundry/Dry Cleaning (Drop Off/Pick Up)	P
Martial Arts School	P
Medical Supplies and Equipment	P
Photocopying/Duplicating/Copy Shop	P
Studio for Radio or Television (without tower)	P
Tool Rental (Indoor Storage only)	P
Antique Shop (no outside storage)	C P
Auto Supply Store for New and Rebuilt Parts	C
Bike Sales and/or Repair	P
Convenience Store Without Gas Sales	P
Food or Grocery Store without Gasoline Sales	P
Liquor Sales (retail)	P
Market (Public, Flea)	C
Pharmacy	P
Plant Nursery (Retail Sales/Outdoor Storage)	C P
Recycling Kiosk	P
Restaurant/Prepared Food Sales	P
Restaurant/Prepared Food Sales with beer/wine off-premises consumption	C
Retail Store (Misc.) with Drive Thru Service	C

P = Permitted Use
C = Conditional Use

Commented [HA39]: Staff has concerns with the uses highlighted on the table below

Use	PDD
Retail Store (Misc.) without Drive Thru Service (Under 100,000 s.f. Bldg.)	€ P
Retail Store (under 10,000 s.f. or more Bldg.) outside sales	€ P
Retail Store (under 10,000 s.f. or more Bldg.) no outside sales	P
Studio Tattoo or Body Piercing	C
Temporary Outdoor Retail Sales / Commercial Promotion (4 day time limit; Permit Required by Building Official)	P
Veterinarian (Indoor Kennels)	€ P
Woodworking Shop (Ornamental)	P
Public Garage/Parking Structure	€ P
Amusement Services or Venues (Indoors)	€ P
Amusement Services or Venues (Outdoors)	C
Bar	C
Smoking Lounge	C
Civic/Conference Center	P
Health Club (Physical Fitness; Indoors Only)	P
Motion Picture Theater (Indoors)	€ P
Museum (Indoors Only)	P
On-Premises Consumption of Alcohol	C
Park and/or Playground	P
Tennis Court (Lighted)	C
Theater (Non-Motion Picture; Live Drama)	€ P
Adult Day Care (No Overnight Stay)	P

Use	PDD
Assisted Living Facility/Hospice	P
Child Day Care (Business)	P
Meeting Place/Nonreligious	P
Place of Religious Assembly/Church	P
Clinic (Medical)	P
Emergency Care Clinic	P
Fraternal Organization/Civic Club	P
Governmental Building or Use (Municipal, State or Federal)	P
Household Care Facility	C
Nursing/Convalescent Home	P
Philanthropic organization	P
Post Office (Private)	P
Post Office (Governmental)	P
Rectory/Parsonage with Place of Worship	P
Retirement Home/Home for the Aged	P
School, K through 12 (Private)	€ P
School, K through 12 (Public)	P
School, Vocational (Business/Commercial Trade)	€ P
University or College	€ P
Caterer	P
Maintenance/Janitorial Service	C
Micro Brewery (onsite mfg. and sales)	C
Research Lab (Non-Hazardous)	P

6.1.B Additional Permitted Uses

Commented [VA40]: This section needs to be incorporated into Land Use Matrix.

The following are additional By Right/permitted uses within the PDD:

1. Civic, civic support, and similar gathering uses including but not limited to outdoor parks, gardens, civic spaces, public art, fountains, libraries, and indoor or outdoor auditoriums and assembly spaces, community gathering spaces, and other similar spaces whether at grade, on amenity decks, or on rooftops, and any storage, improvements, or amenities related to such spaces.
2. Bus shelters, fire and police stations.
3. Outdoor conference, meeting, gathering, exhibit, theater, movie, entertainment, and event spaces as part of the condo, apartment complex, open spaces, or mixed-use complex.
4. Indoor or outdoor galleries and exhibition type uses.
5. Push carts and transient vendors.
6. Art markets, craft and food markets and festivals, and other similar public markets.
7. Surface parking areas (permitted only within the area along the Blanco Street frontage where on-street parking will be partially within the Project Site's boundary).
8. Wireless transmitters and radio/television communications towers extending not more than 15' above the highest element where it is sited, provided that such elements are located horizontally within 150' of the right-of-way line of Moore St.
9. Manufacturing as part of an artist's or artisan's studio and/or retail operation, including within any live/work spaces.
10. R&D offices and research laboratories (up to and including BSL-2 labs as defined by the Centers for Disease Control).
11. Micro breweries and micro distilleries as part of an on-site retail or food service operation (this is a conditional use subject to CUP requirements).
12. Outdoor/sidewalk sales as an ancillary part of a retailer's existing operations within the PDD or in connection with special events at the Project Site.
13. Electrical substations, generators, and/or similar or related equipment ancillary to the needs of the Project, but not for offsite purposes.
14. Indoor and outdoor health and fitness facilities (including, but not limited to indoor facilities that may open to the outdoors).
15. Storage units and areas for tenants/residents of the Project (so long as such storage areas are not visible from the public right-of-way).
16. Parking for shared car services similar to Car2Go, ZipCar, etc.

6.2 Variances & Enhancements Matrix

~~Note: This Matrix is offered as a “quick reference” tool to make navigation of the PDD Standards Book easier and more convenient. Please refer to PDD Standards Book for complete details. Variances, enhancements, modifications, and other rights described either in the PDD Standards Book or in this matrix shall apply to the PDD, even if any such item is not expressly mentioned both in this document and also in the PDD Standards Book.~~

Commented [VA41]: This section needs to be sorted by PDD Section Number once all comments have been addressed.

PDD Sections	CoSM Sections	Subject	Existing Regulation	PDD Modification
6.1 6.1.A 6.1.B	LDC 4.3.1.2 4.2.2.1(b)	Permitted Uses	Land Use Matrix includes numerous conditional and permitted uses.	Various use changes consistent with Lindsey Hill’s vision and mixed-use goals.
5.1	LDC 4.1.6.1 4.2.2.1(d)(4) 4.4.1.1(d)(3)	Setbacks, Front Yard Measurement	25’ front yard setback 7.5’ side yard setback 15’ corner side setback 5’ rear yard setback Additional rear setback for heights greater than 24’.	Setbacks by frontage and as described in PDD Book. Hutchison – 16’ and 10’ Moore – 10’ Burleson – 8’ Blanco – 17’ No additional setback required for permitted building heights.
5.3	LDC 4.1.6.1 4.2.2.1(d)(5) 4.4.1.2(a)	Maximum Building Height; Calculation of Building Height	4 stories (with CUP required for greater height). Heights calculated based on street grade and roof height.	5 stories maximum, no CUP needed.
5.3 5.11	LDC 4.4.1.2(b)	Mechanical Equipment, Pitched Roofs, and Decorative Features Heights	Up to 50’ above average grade line of building, but in some cases with additional setback requirements.	Up to 12’ above building for mechanical equipment and architectural features. Pitched roofs up to 16’ of additional height. No additional setback requirements for these special heights.
5.3 5.4	LDC 4.4.3.2(1)(o)(ii) 4.4.3.2(1)(a)	Residential Compatibility	Maximum building height of 30 feet shall apply to portions of a structure within 70 feet of a single family zoning designation (measured from centerline of street).	Maximum height of 42’ is permitted within 12 feet of the property line along all street frontages. For pitched roofs, height measured to underside of eave.
5.3	LDC 4.1.6.1	Maximum Floor Height	14’ from finished floor to finished ceiling.	Retail/commercial spaces have a max interior height of 25’. Gym and auditorium buildings permitted to keep existing ceiling heights.
3.7	LDC 4.1.6.1 4.2.2.1(c) 5.1.1.5 Table 4.1.6.1	Impervious Cover	60% maximum	80% maximum impervious cover permitted. Impervious cover over 60% to include pollutant removal through PBMPs and enhanced TSS removal.
1.1	LDC 4.1.6.1	Units Per Acre	5.5	214 total multifamily units permitted. (45/ac)

PDD Sections	CoSM Sections	Subject	Existing Regulation	PDD Modification	
	LDC 5.1.1.3 7.5.1.7	Runoff Attenuation; Impervious Cover Calculation		Project receives credit for remaining and/or replacement of existing impervious coverage.	Commented [VA42]: Need to determine what the requested deviation is.
1.1 6.4	LDC 5.1.1.5 and 7.5.1.4	Hillside Impervious Cover	Limits hillside impervious cover based on slope: 35% coverage permitted for 15-25% slopes, 20% coverage permitted for slopes greater than 25%.	15-25% slopes and slopes greater than 25% permitted additional impervious coverage pursuant to Section 6.4.	Commented [VA43]: Need to determine what the requested deviation is.
5.1	LDC 4.4.1.1(d)(3) Figure 4-8	Front Porch Dimensional Limits	Up to 30" above grade within front yard. Porch without posts may extend into front yard up to 4'.	No height or distance limits within front yard, but must follow Section 5.1 – Building Setbacks requirements. Other than as specifically permitted in retail area, no porch posts permitted in Setback.	
5.5 5.6 5.7	LDC 4.4.3.2(2)(a) 4.4.2.2(c)	Façade Design Criteria	Requires certain minimum façade articulation and design elements in order to maintain visual interest.	Supplements with additional façade articulation methods, windows, balconies, and other façade-related requirements.	
5.10	LDC 4.4.2.1 4.4.3.2(2)(b)i)	Exterior Materials	Provides a list of materials allowed to be utilized within new building exteriors.	Allows Lindsey Hill to utilize recently-adopted (2016) materials standards while also permitting additional materials that may be added for additional architectural detail (limited to 10% of exteriors).	
Figure 1.1	LDC 4.4.3.2(2)(f)	Street-Facing Garages	No garages allowed on facades facing street.	Main parking garage entrance and condo garage will face street.	
5.6	LDC 4.4.3.2(2)(g)	Residential Glazing & Transparency	Multifamily street facing facades shall have minimum glazed area of 20%.	Residential facades shall have minimum glazed area of 30% at ground level.	
5.6	LDC 4.4.2.2	Commercial Glazing & Transparency	No standard.	1. Retail facades shall have minimum glazed area of 70% at ground level. 2. Non-retail facades shall have minimum glazed area of 50% at ground level. 3. Specific allowances for repurposed buildings and for condo garage.	
5.2	LDC 4.4.3.2(2)(g)	Operable Windows	All walls and elevations on all floors of MF buildings must contain operable windows.	A minimum of 50% of multifamily building windows shall be operable.	
4.5 4.4	LDC 6.1.1.4(b)(2)	Street Trees; Street Tree Clustering	Street trees required every 50' on average.	Street trees required every 30', except along Blanco Street where street trees may be clustered.	
3.2	LDC 6.1.1.4(c)	Location of Landscaping	75% of required landscaped area in Table 6.1.1.4 to be within streetscape areas.	No minimum percentage required along streetscapes. Landscaping shall be achieved within the greenspaces outlined in Figure 1-1.	

PDD Sections	CoSM Sections	Subject	Existing Regulation	PDD Modification
4.0 4.2 4.3 5.1	LDC 6.1.2.1(b)(1) 6.1.2.1(b)(2)	Non-residential and Multifamily Screening and Setback Requirements	6' opaque fence and additional setbacks required for screening of MF or commercial uses.	Screening and setbacks throughout the Project Site shall be as required within the PDD Standards Book.
4.4	LDC 4.2.2.1(d)(7) 6.1.2.2	Parking Area Screening	Nonresidential parking areas to be screened from SF uses. Parking spaces shall be buffered from street view and from adjacent properties.	No screening or buffering required for portion of Blanco St. parking area.
4.2	LDC 6.1.2.3	Screening Along Roadways	Where rear or side yards of a subdivision are adjacent to an arterial, a 6' tall masonry wall or other form of screening is required. Any such screening requires a maintenance easement to HOA or City.	Each frontage of the Project shall be considered a front yard.
3.4.B 3.5.B	LDC 6.1.3.1(b)(1)	Gates for Vehicular Access	Gates for vehicle access to be set back 24' from property line.	Parking garage and waste management area gates shall be setback a minimum of 4' from the building face.
3.1.A 3.5.B 3.10	LDC 6.1.3.3(a)(4)	Fences Between Buildings on the Same Lot	Maximum fence height of 8'.	Maximum fence height of 8' (10' for waste management access area), with specific transparency requirements.
3.1.A	LDC 4.4.3.2(1)(i)i)	Pedestrian Access	Pedestrian entrances shall connect sidewalks to internal walkways and shall not be gated.	The Pedestrian entrances illustrated in Figure 3-1 may be gated to separate public and private areas.
2.1	LDC 7.6.1.2 City Council Resolution	Parkland Dedication	Parkland dedication, or a fee-in-lieu shall occur when new residential subdivisions are developed. Credit toward fee-in-lieu shall be given for developer-provided improvements that benefit the quality and character of the subdivision.	Requirement under PDD – met Requirement under LDC – to be met with fee-in-lieu Fee-in-lieu credit shall be given to Project for Poet's Corner improvements that benefit the character and quality of the Project.
3.4	LDC 6.2.1.2	Parking	Multifamily: 1.05 parking spaces per bedroom Retail: 1 space per 250 SF Office: 1 space per 300 SF	Multifamily: .85 spaces/bedroom Retail/Commercial: 1 space per 250 SF of retail area Office: 1 space per 300 SF of office area Condo: 1.5 spaces per condo unit Mixed-use parking reductions per Section 7.1.3.1 and Table 7.3 of the 2018-adopted Development Code.

Commented [VA44]: As noted above, staff does not agree with the private use of on street parking. Similar sections are highlighted in Blue below

PDD Sections	CoSM Sections	Subject	Existing Regulation	PDD Modification
3.5.B	LDC 6.2.1.2(j)	Loading Space and Maneuvering	All vehicular maneuvering required for use of loading spaces shall occur outside of ROW.	Waste management area and loading zones maneuvering allowed within ROW, but limited to PDD Standards Book requirements. Minimum of single-berth loading dock permitted for the PDD.
3.4.A	LDC 6.2.2.1(a)	Public Street Parking	Public street parking shall not be counted toward off-street parking requirements.	Street spaces touching the PDD on Blanco, shall be counted toward off-street parking requirements, but Burleson and Hutchison spaces shall remain available for public use.
3.4.B	LDC 6.2.2.1(d)	Parking Space Dimensions	Minimum 9' parking space width for non-parallel spaces.	Minimum 8'6" parking space width for non-parallel spaces in parking garages.
3.5.B 4.5	LDC 6.2.2.1(g)	Backing into Public Streets and Sidewalks	No parking space shall require backing into a public street or across a sidewalk.	Blanco Street spaces (which mostly are within the ROW, but may partially be within the Project Site) only will back into public street. Waste management access will require backing across sidewalk.
3.4.B	LDC 6.2.2.1(l)	Dead ends in parking areas	Turnaround space of 9' to be provided for dead ends within parking areas.	One parking space at any garage dead end shall be reserved as a turnaround space and 3' shall be provided beyond that space for maneuvering.
4.5	LDC 6.2.2.1(n)	Parking Space Setbacks	Parking spaces must be set back a minimum of 5' from ROW.	Blanco Street spaces are partially on the Project Site and partially within ROW.
3.6	LDC 6.3.1.2	Sign Standards Applicability	When two sign standards conflict, the more restrictive standards shall apply.	If PDD sign standards conflict with Base Regulation standards, PDD standards shall govern and control.
3.4.B 4.5	LDC 6.3.1.7(a)(5)	Signage Restrictions	Parking spaces may not be blocked off by signage except for public safety needs.	Spaces or sections within the parking garage and/or on Blanco Street can be blocked off for repair, special events, valet, etc. using signs, cones, pylons, etc.
3.6	LDC 6.3.1.7(a)(10)	Signage Restrictions	Sidewalk signs permitted only in CBA, but must maintain 5' wide clear sidewalk path.	Sidewalk signs (sandwich board, spring base, etc.) permitted. 6' wide clear sidewalk required.
3.6	LDC 6.3.1.7(a)(11)	Signage Restrictions	All signs to have a 5' minimum setback from all property lines.	Monument signs, retaining wall signs, and canopy signs shall be installed behind sidewalks. Sandwich board signs permitted within sidewalk areas.
3.6	LDC 6.3.3.2(a)	Signage Area Calculation	Base Regulation does not provide clarity on how to measure façade to determine allowable sign area.	With some modification, line by line incorporation of SmartCode signage regulations, which are more restrictive.

PDD Sections	CoSM Sections	Subject	Existing Regulation	PDD Modification
3.6	LDC 6.3.3.2(a)(1)	On-Premises Attached Signs	Attached signs shall not extend above roofline or into setback zone.	Certain projecting signs may extend a roofline. Canopy, projecting, hanging, retaining wall, sidewalk, and monument signs permitted within setback zones on a limited basis.
3.6	LDC 6.3.3.2 6.3.3.3	Sign Types	LDC includes two broad categories of permitted on-premises signage.	PDD Standards Book provides detailed descriptions of permitted signs in Section 3.6.
3.6	LDC 6.3.3.3(a)	Sign Types	Pole signs permitted in certain locations.	Pole signs are not permitted.
3.6	LDC 4.4.3.2(1)(n)ii (4)	Sign Illumination	Monument signs shall not be internally lit.	Signage located along Moore St. and at Moore and Hutchison may be neon (or LED equivalent), halo, internal illumination, and/or other future lighting/illumination technologies as may be permitted in future iterations of the San Marcos Development Code.
3.6	LDC 6.3.3.5(c)	Temporary Signs	Temporary signs limited to one per street frontage and two total per lot.	A maximum of two temporary signs shall be permitted on each of the Hutchison, Moore, and Blanco Street frontages with specified standards and permits.
1.1 3.4 3.5 4.4 4.5	LDC 4.4.3.2(1)(c)	Parking Site Design	Provides requirements for parking lot locations, curb stops, and visitor parking signage and location.	Permitted parking locations and parking requirements are detailed in PDD Standards Book. No requirement to label visitor parking.
3.1.B	LDC 4.4.3.2(1)(c)	Parking Site Design	Outlines requirements for bicycle parking.	Bicycle parking shall not be calculated redundantly. No distance-to-door requirements for bike parking. Covered bike parking shall be in parking garage.
	LDC 4.4.3.2(1)(j)	Neighborhood Parking Programs	Developer to pay a fee toward neighborhood parking program based on project impact.	No fees required based on City's review and approval of the Project's parking program as being appropriate for Project's overall mixed-use needs.
	LDC 4.4.3.2(1)(k)	Public Transit Facility Lighting	Lighting to be provided along pedestrian walkway connections and adjacent to transit stops.	Lighting to be provided for pedestrian walkway connections and transit stops located at or immediately adjacent to the Project Site.
3.5.B	LDC 4.4.3.2(1)(m)ii	Trash/Dumpsters for Multifamily	Trash and recycling dumpsters to be provided within 500 feet of entrances to ground floor units.	Trash access or chutes are required within 350' of each multifamily unit.

Commented [VA45]: Need to determine which signs are being referenced here?

6.3 Legal Description

METES & BOUNDS DESCRIPTION FOR BLOCK FOUR (4), LINDSEY AND HARVEY ADDITION

A tract of land containing 4.8275 acres, being all of Block Four (4), of the Lindsey and Harvey Addition, a subdivision in Hays County, Texas, according to the plat recorded in Volume "E", Page 416 of the Hays County Deed Records, and being more particularly described by metes and bounds as follows:

BEGINNING at a cotton gin spindle set at the intersection of the northeast right-of-way of Blanco Street with the southeast right-of-way of Burleson Street for the northwest corner of Block 4;

THENCE N 44° 04' 48" E, along Burleson Street right-of-way, a distance of 630.72 feet to an iron rod with a cap set at the intersection of the southeast right-of-way of Burleson Street with the southwest right-of-way of Ranch Road #12, Moore Street, for the northeast corner of Block 4;

THENCE S 46° 28' 52" E, along the Ranch Road #12 right-of-way, a distance of 333.68 feet to a cotton gin spindle set at the intersection of the southwest right-of-way of Ranch Road #12 with the northwest right-of-way of West Hutchison Street for the southeast corner of Block 4;

THENCE S 44° 04' 48" W, along the West Hutchison Street right-of-way, a distance of 629.73 feet to a cotton gin spindle set at the intersection of the northwest right-of-way of West Hutchison Street with the northeast right-of-way of Blanco Street for the southwest corner of Block 4;

THENCE N 46° 39' 05" W, along the Blanco Street right-of-way, a distance of 333.69 feet to the **POINT OF BEGINNING**, containing all of Block 4, 4.8275 acres.

6.4 Hillside Slope Variance Depiction



Commented [VA46]: This image should be moved to section 3.7 on impervious cover. Need to receive clarification from Engineering on the percentages. Also need to determine the requested deviation.