EDEN COCKTAILS

VODKA/GIN

LIL' THING-LEMON, RASPBERRY, DOLIN BLANC, VODKA

EVOL-ELDERFLOWER, PASSION FRUIT, PEYCHAUDS, LEMON, VODKA

LAST KISS-LIME, ROSEMARY, DEMERARA, GREEN CHARTREUSE, TORCHED ROSEMARY, GIN

EASY COME EASY GO-WATERMELON, LIME, BASIL,

RUM/TEQUILA/MEZCAL

FREE TIME-LIME, DRY CURACAO, MINT, DEMERARA, RUM, ANGOSTURA

SNAIQUIRI-GRAPEFRUIT, LIME, LUXARDO MAR., DEMERARA, OFTD RUM

DARK & LOVELY-LEMON, APEROL, BLACK STRAP RUM, ANGOSTURA, GINGER BEER

MI AMOR-LIME, GINGER, HONEY, GREEN CHARTREUSE, REPOSADO

WHISKEY/SCOTCH

EDEN OLD FASHION-PECAN, ANGOSTURA, BOURBON, ORANGE EXPRESSION

LIONS TAIL-LIME, ALL SPICE, DEMERARA, BOURBON, ANGOSTURA

LOGAN-RYE, COGNAC, BENEDICTINE, CARPANO ANTICA, JERRY THOMAS, PEYCHAUDS

PENICILLIN-LIME/LEMON, HONEY, GINGER, SCOTCH

PAPER PLANE-LEMON, APEROL, AMARO NONINO, BOURBON- ROCK DOF

EDEN CLASSICS

VODKA/GIN

CORPSE REVIVER #2-LEMON, SUGAR, LILLET, VODKA/GIN, ABSINTHE, LUXARDO

LEMON DROP-ELDERFLOWER, DOLIN DRY, BLACK LEMON, LEMON, VODKA

LAST WORD-LIME, GREEN CHARTREUSE, LUXARDO MARSCHINO, GIN

RICKEY-LIME, MINT, GIN, SODA

RUM/TEQUILA/MEZCAL

FREE TIME-LIME, DRY CURACAO, MINT, DEMERARA, RUM, ANGOSTURA

SNAIQUIRI-GRAPEFRUIT, LIME, LUXARDO MAR., DEMERARA, OFTD RUM

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PAPER PLANE-LEMON, APEROL, AMARO NONINO, BOURBON- ROCK DOF

BEER & SELTZER

Lonestar

Bud Light

Miller Lite

Coors Banq

Dos XX

Modelo

Blue Moon

Voodoo Ranger IPA

High Noon

Wine

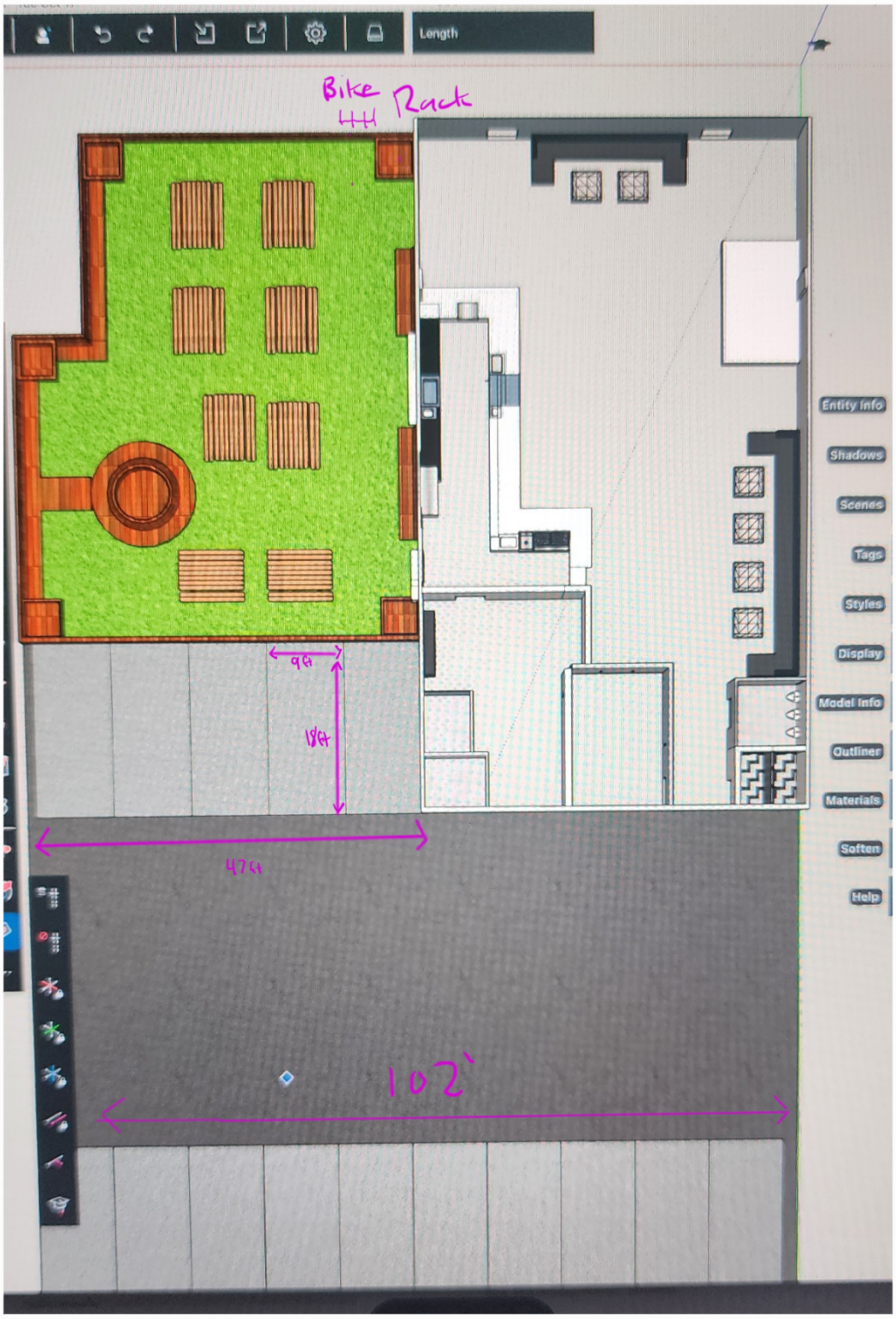
Zonin Prosecco

Zonin Rose

Monin Cab

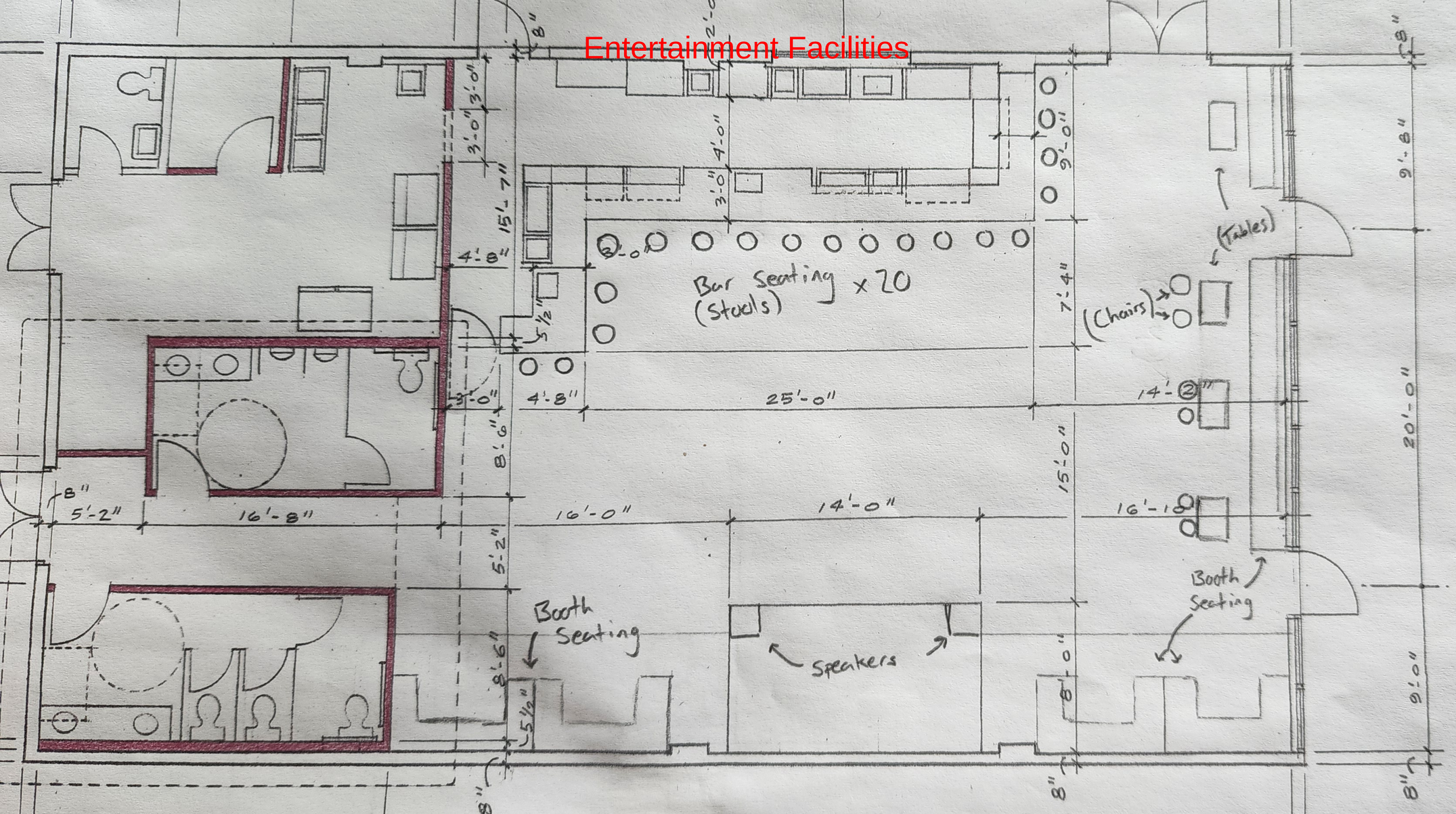
Monin Sauv

Dom P.



Here is the updated layout of the parking lot with dimensions and a 5 space bike rack to be installed in the front.

Entertainment Facilities



INTERIOR REMODEL

FOR

EDEN LOUNGE

206 W. SAN ANTONIO ST.

San Marcos, Texas 78666

PROJECT # : 2023-49448

REGISTERED ARCHITECT
ROEL BAZAN
14289
STATE OF TEXAS

12-2-2023

ARCHITECT

ROEL BAZAN

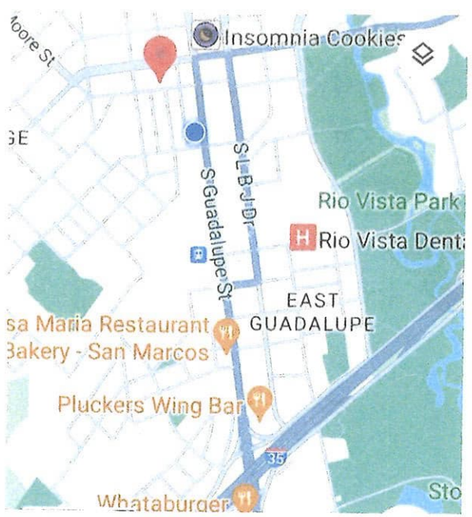
174 S. GUADALUPE ST. STE. 104

[redacted]

Client: Francis Foglia

[redacted]

THE ENTIRETY OF THIS PROJECT SHALL COMPLY WITH 2021 IBC, 2021 IFC AND 2020 NEC



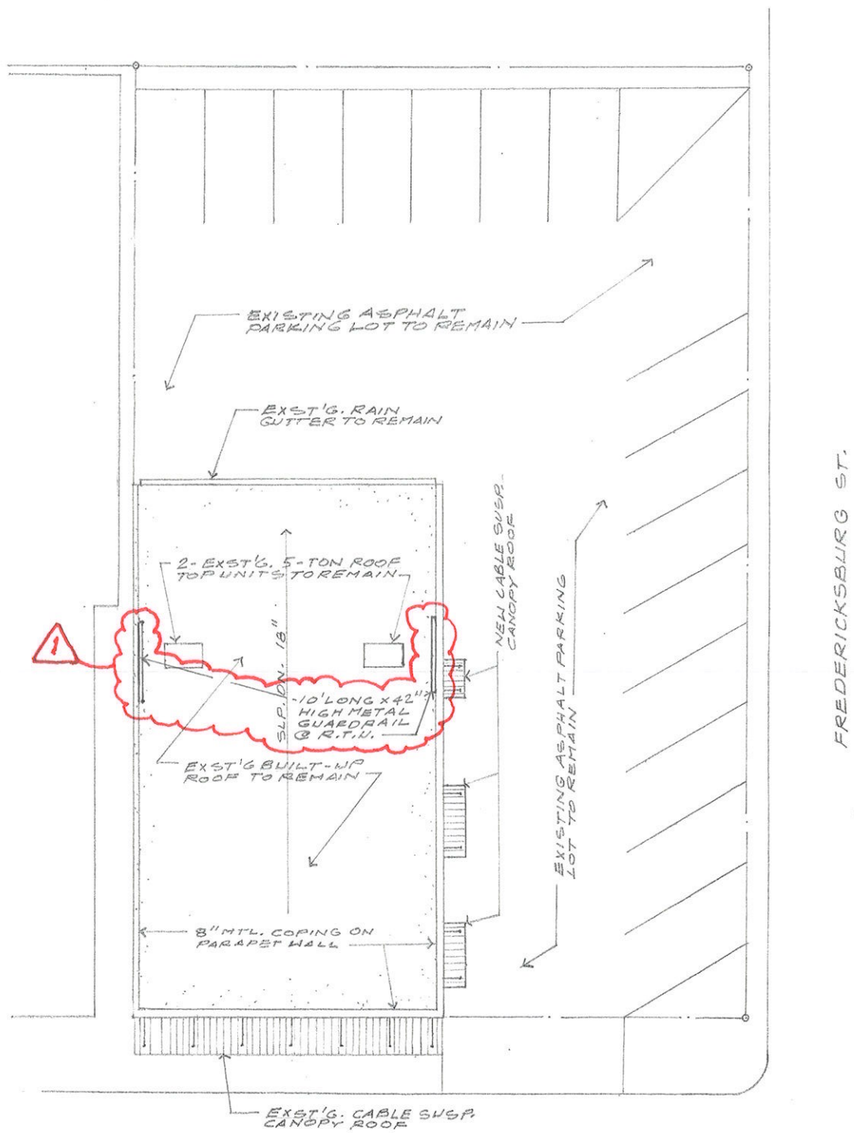
VICINITY MAP
NO SCALE

FRONT ELEVATION
SCALE : 1/8" = 1' — 0"

INDEX TO DRAWINGS

GN-1	GENERAL NOTES
ADA-1	ADA NOTES & DETAILS
S-1	SITE PLAN
A-1	EXISTING FLOOR PLAN
A-2	DEMOLITION FLOOR PLAN
A-3	CONCRETE SLAB DEMOLITION PLAN
A-4	FLOOR PLAN
A-5	ENLARGED RESTROOM FLOOR PLAN
A-6	FIRE SAFETY PLAN
A-7	REFLECTED CEILING PLAN
A-8	CEILING FRAMING PLAN
A-9	EXTERIOR ELEVATIONS
A-10	TYPICAL WALL SECTIONS
A-11	ELECTRICAL FLOOR PLAN

TABS PROJECT # : TABS2024007228



206 W. SAN ANTONIO ST.

1 SITE PLAN
SCALE: 1" = 20'-0"

Contractor General Notes

01 Perform all work in compliance the Contract Documents General Notes listed in these contract documents.

02 The Contractor will coordinate the work of all subcontractors and trades without exception, and be on-site during all work.

03 Do not disassemble this set of construction documents. Drawings are interrelated.

04 The Contractor will obtain and pay for all necessary permits, licenses, certificates, testing, etc. unless expressly agreed by Owner prior to signing of Contractor/Owner agreement.

05 Contractor to confirm and verify the location of all structures in relation to building lines or setbacks, property lines and easements with the appropriate municipal entity. Contractor to confirm all existing overhead and underground utilities (electric, gas, phone, TV, water, sewer, etc.) utility apparatus and structures, tap and hookup locations with the appropriate municipal entity. Notify Architect and Owner immediately with any discrepancies.

06 The Contractor and all subcontractors and trades will perform a due diligence inspection of all existing conditions prior to start of a proposal. Submital of a proposal will be considered confirmation that such an inspection has been made, and no further compensation will be due to the Contractor, subcontractor, or trades for claims arising a result of failure to perform such inspection.

07 The Contractor and subcontractors and trades will provide their own area takeoffs and confirm actual square footages. All construction document dimensions and area calculations must be verified by the contractor and subcontractors prior to bidding, submittal of proposals or cost estimates or entering into any contracts or subcontracts, and no further compensation will be due to the Contractor, subcontractor, or trades for claims arising a result of failure to preform such takeoffs.

08 Furnish all material new except where specifically noted in documents.

09 Warranty all materials and labor for a period of One (1) year (Unless Noted Otherwise) from the date of substantial completion, or the date of beneficial occupancy of the Owner, whichever is later. Repair or replace all work that is discovered to be defective during this period.

10 Contractor to ensure work area is clean and free of obstructions during construction period at a 'broom swept' level, and at the end of construction provide a final cleaning that includes, but not limited to, removal of smudges, marks, stains, fingerprints, soil, dirt, paint spots, dust, lint, discolorations, and other foreign material.

11 Items furnished and installed by the Owner are noted "O.P.O.I". or "OPOI". Contractor will not include cost for transportation, storage, and/or installation.

12 Items furnished by the Owner and installed by the Contractor are noted as "O.P.C.I" or "OPCI". Contractor will include cost for transportation, storage, and/or installation.

13 "Basis of Design" as used within these contract documents is an item/system/product that meets the minimum design requirements of the Architect. Contractor may substitute a Basis of Design item with another item that meets or exceeds the Basis of Design.

14 "Similar" or "Equivalent" as used within these contract documents means that an specific item or detail referenced is substantially the same as the item or detail being referenced to, with minor variations that do not affect the function or appearance.

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17 Contractor is responsible for verifying that all floor recesses and drops match between architectural floor plans and structurally engineered foundation plans. Contractor will insure that any slabs recessed for floor finishes (tile, wood, etc.) result in floor finishes being flush with all adjacent floor finishes. (tile, wood, etc.).

18 Contractor is responsible for verifying that all floor receptacles, sinks, etc are coordinated between all trades, and will provide all in-slab electrical and plumbing as required.

19 The Contractor will provide a minimum of One (1) printed or electronic record drawing of the work at the conclusion of construction. Record drawings may be in the form of a marked-up copy of the construction documents. Deliver the record drawings to the Owner.

20 Contractor will provide Owner MSDS for chemicals with quantities stored prior to conclusion of project.

21 Contractor will provide Owner with Asbestos Guarantee Letter which will state that no material and no building system provided has elements of asbestos prior to conclusion of project.

Means and Material General Notes

MEANS & METHODS & MATERIALS

Construction means, methods, and materials are solely the jurisdiction of the Contractor and are not described in these documents. Exact detailing, structural, mechanical, electrical, waterproofing and flashing are to be determined by the contractor except as noted or described within these documents. In all cases, the General Contractor is required to provide all indicated material and building systems to the most stringent construction standards, recommendations, and instructions related to the material or system regardless if such standards, recommendations, or instructions are specifically listed within these documents. In all cases, the most stringent requirements of all applicable federal, state, county, and local city building, mechanical, electrical, plumbing, and fire codes, laws, ordinances, and regulations will be met.

If the contractor or any subcontractor performs any work in conflict with the above mentioned construction standards, recommendations, laws, rules, codes, ordinances and regulations then the Contractor will solely bear all costs of repair arising out of non-conforming work.

NATIONAL TRADE STANDARDS

All means, methods, and materials shall conform to the accepted national trade standards for that trade. The most stringent requirements shall govern unless the Owner expressly accepts a lesser standard. A partial list of typical required trades standards follows:

American Aluminum Manufacturers Association . American Concrete Institute . American Board Products Association . American Institute of Steel Construction, Inc. . American Iron and Steel Institute . American Institute of Timber Construction . American Plywood Association . American Society of Heating, Refrigeration, and Air Conditioning Engineers, Inc. . The American Society of Mechanical Engineers, Inc. . The Architectural Woodwork Institute . American Wood Preservers Association . Builder's Hardware Manufacturer's Association . Brick Institute of America . Building Stone Institute . Copper Development Association Inc. . California Redwood Association . The Carpet and Rug Institute . The Door and Hardware Institute . Facing Tile Institute . Gypsum Association . Glass Tempering Association . Hardwood Plywood Manufacturer's Association . Institute of Electrical and Electronics Engineering, Inc. . Marble Institute of America . Metal Lath/Steel Framing Association . National Particle Board Association . National Fire Protection Association . National Forest Products Association . National Paint and Coating Association . National Terrazzo and Mosaic, Inc. . Porcelain Enamel Institute, Inc. . Rubber Manufacturer's Association, Inc. . Southern Forest Products Association . Steel Joist Institute . Stucco Manufacturer's Association . The Society of the Plastics Industry, Inc. . Tile Council of America, Inc. . Underwriter's Laboratory, Inc. Wood and Synthetic Flooring Institute . Woodwork Institute of California.

REGISTERED ARCHITECT
ROEL BAZAN
14289
STATE OF TEXAS
12-2-2023

NO.	REVISIONS/DATE

HDZ
DESIGN•BUILD
San Marcos, Texas

DESIGNED FOR:
EDEN LOUNGE
206 W. SAN ANTONIO ST.
SAN MARCOS, TEXAS 78666

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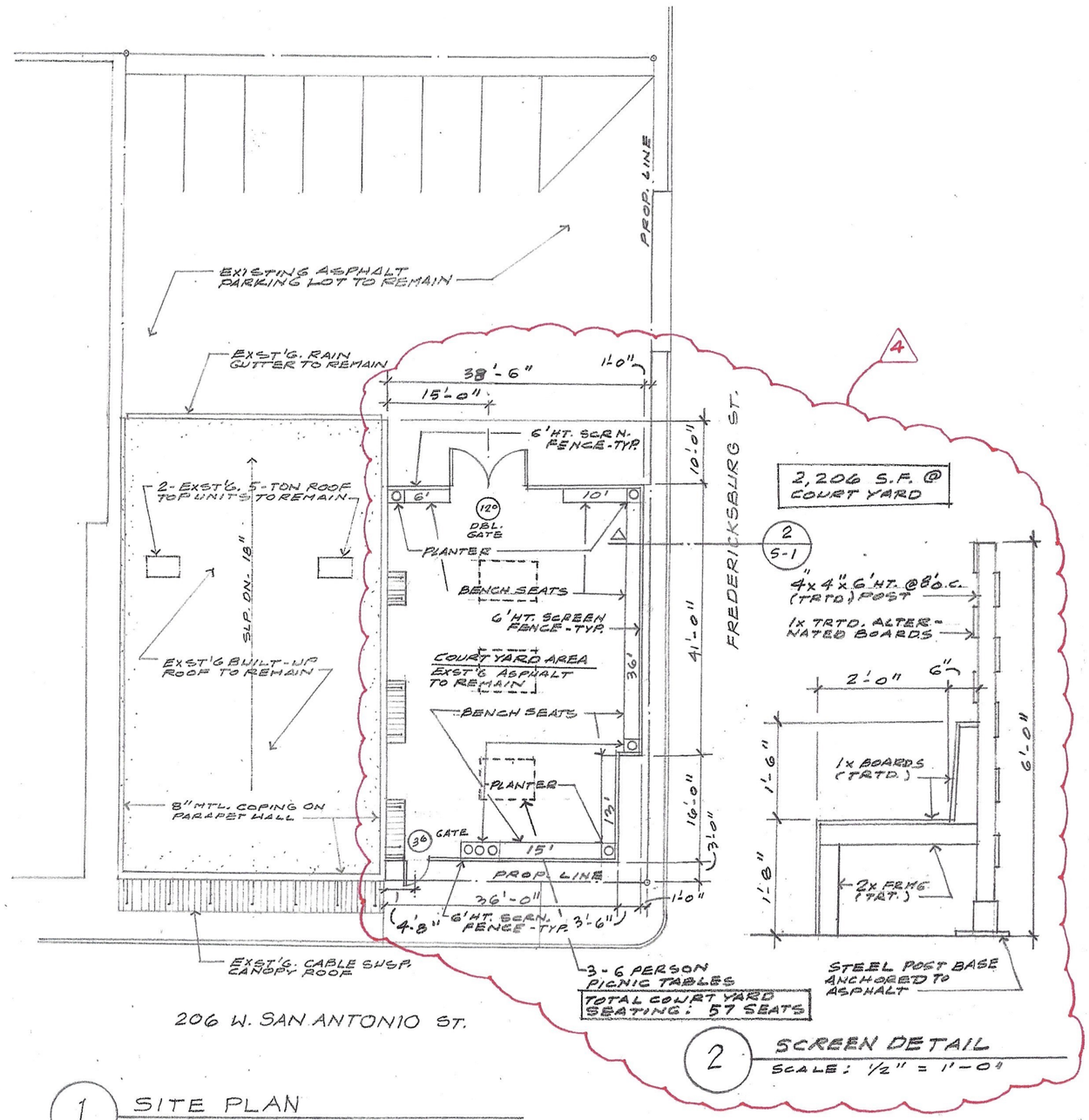

1 SITE PLAN
SCALE: 1" = 20'-0"

2 SCREEN DETAIL
SCALE: 1/2" = 1'-0"

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ADDENDUM 4 RESPONSES TO C.O.S.M. COMMENTS DATED: 5-17-24

REGISTERED ARCHITECT
ROEL BAZAN
14289
STATE OF TEXAS
12-2-2023

NO.	REVISIONS/DATE

HDZ
DESIGN•BUILD
San Marcos, Texas

DESIGNED FOR:
EDEN LOUNGE
206 W. SAN ANTONIO ST.
SAN MARCOS, TEXAS 78666

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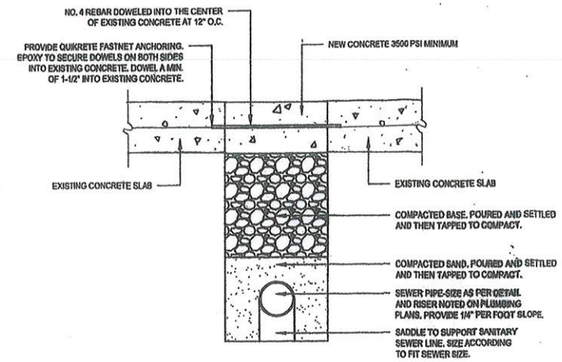
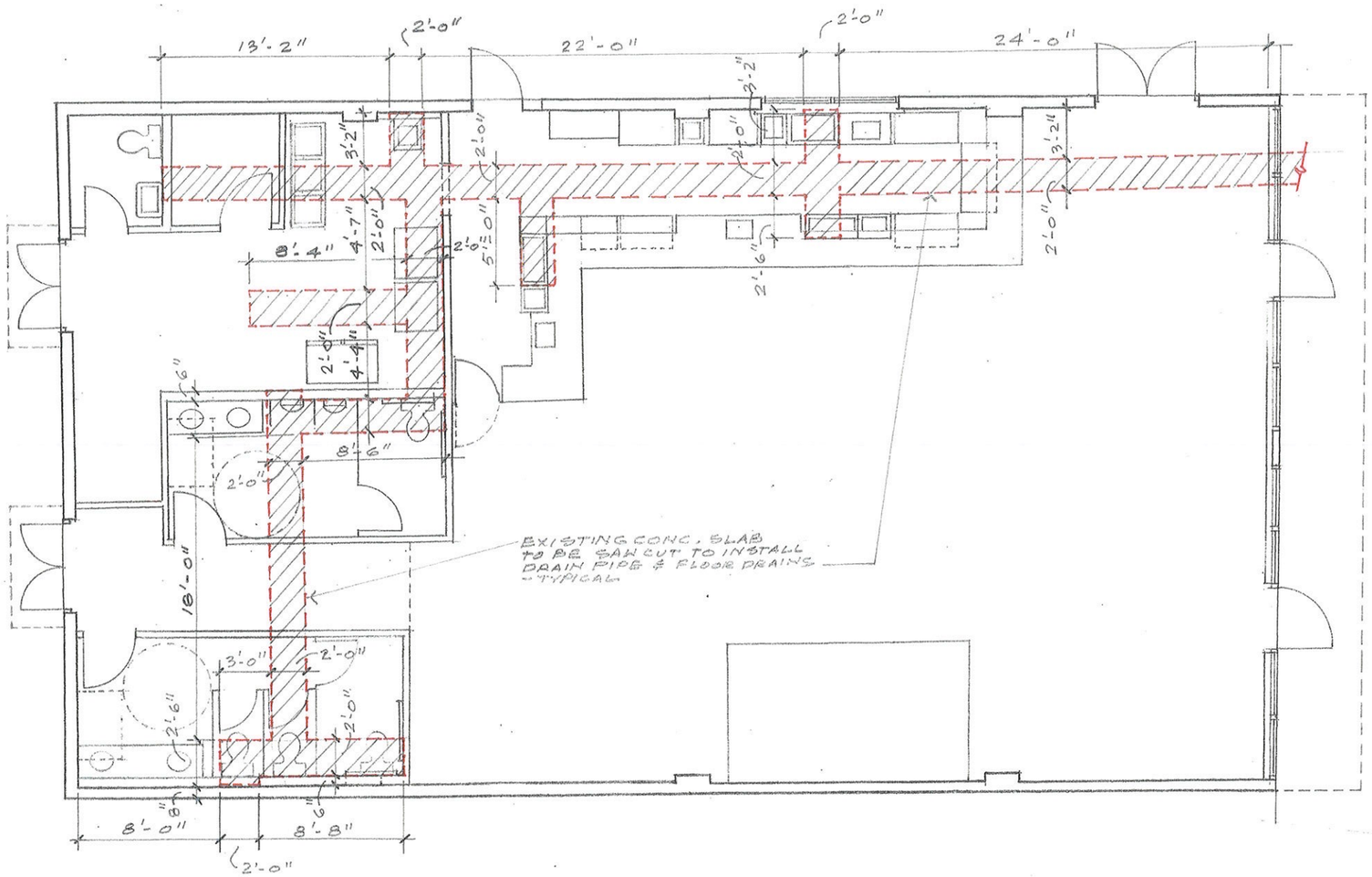


2 CONCRETE POUR BACK DETAIL

SCALE: 1 1/2" = 1'-0"



1 CONCRETE SLAB DEMOLITION PLAN

SCALE: 1/8" = 1' — 0"

REGISTERED ARCHITECT
ROEL BAZAN
14289
STATE OF TEXAS

12-2-2023

NO.	REVISIONS/DATE

HDZ
DESIGN • BUILD
San Marcos, Texas

DESIGNED FOR:
EDEN LOUNGE
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GENERAL FINISH NOTES (BOTH NEW & REMODELED/ AREAS)

1. NO SUBSTITUTIONS OF SPECIFIED FINISHES WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER.

2. ALL PARTIES RESPONSIBLE FOR DELIVERING FINISHE MATERIALS TO THE SITE SHOULD CHECK QUANTITIES AND DELIVERY DATES AS SOON AS BID IS AWARDED TO AVOID ANY RESELECTION OF MATERIAL.

3. ALL FURNISHINGS ARE TO BE OWNER FURNISHED, OWNER INSTALLED – UNLESS INSTRUCTED OTHERWISE.

4. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR CONFLICTS WITH DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK.

5. FOR ALL PRODUCTS INSTALLED, NOTE INDUSTRY STANDARDS AND MANUFACTURER SPECIFICATIONS FOR INSTALLATION.

6. PRIOR TO THE APPLICATION OF PAINT, THE CONTRACTOR SHALL REPAIR NEW OR EXISTING SURFACES BY PATCHING, SMOOTHING, AND SANDING AS NEEDED TO ACHIEVE A SURFACE ACCEPTABLE FOR THE APPLICATION OF NEW FINISH. PREPARE DOOR FRAMES OR METAL SURFACES BY SANDING CHIPS/BURRS, FILLING DENTS, AND CAULKING CRACKS AT CORNERS AS REQUIRED.

7. ALL RESILIENT BASE IS TO BE 4" HIGH, AND IN CONTINUOUS ROLLS UNLESS OTHERWISE NOTED; MITER INSIDE CORNERS. NO PRE-MOLDED OUTSIDE CORNERS ARE ACCEPTABLE.

8. ALL REDUCER STRIPS AND OTHER THRESHOLDS TO BE LOCATED AT CENTERLINE OF DOOR WHEN IN CLOSED POSITION.

9. SEAM SEALING IS TO BE PROVIDED AT ALL CARPET EDGES. ALL EDGES CUT FOR SEAMING MUST BE TREATED WITH A 1/8" BEAD OF CARPET SEAM SEALER. THE SEALER SHOULD BE APPLIED ALONG THE EDGE OF THE CARPET AT THE POINT WHERE THE FACE YARNS PENETRATE THE BACKING. ANY EXCESS SEALER WHICH CONTAMINATES THE CARPET FACE MUST BE REMOVED WITH CARPET SEAM CLEANER.

10. CORNER GUARDS TO BE INSTALLED WHERE INDICATED ON DRAWINGS. ALL CORNER GUARDS TO START AT TOP OF FINISH BASE.

11. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ARCHITECT FOR APPROVAL OF ALL INTERIOR FINISHES PRIOR TO FABRICATING OR PURCHASING MATERIALS. ALL SUBMITALS SHALL BE CLEARLY MARKED WITH MANUFACTURER, COLOR, STYLE, AND FINISH MATERIAL LEGEND CODE.

12. PAINTING SUBCONTRACTOR MUST PROVIDE 3'x3' PAINT SAMPLES OF EACH PAINT COLOR ON SITE FOR APRROVAL.

13. CONTRACTOR IS TO PROVIDE "SURPLUS" STOCK AS NOTED BELOW. SURPLUS STOCK SHALL BE PROVIDED ON EACH DIFFERENT PRODUCT MANUFACTURER, STYLE, COLOR, AND FINISH SPECIFIED.

PAINT: PROVIDE 5% AVERAGE OR MINIMUM OF 1 (ONE) GALLON PER COLOR AND TYPE. EACH CONTAINER OF PAINT MUST HAVE THE COLOR "FORMULA" CLEARLY INDICATED ON IT.
RUBBER BASE: PROVIDE 5% AVERAGE
CARPET: PROVIDE 5% AVERAGE OR 9 SQUARE YARDS
VINYL COMPOSTION TILE: PROVIDE 5% AVERAGE OR A MINIMUM OF 10 TILES FOR EACH COLOR AND PATTERN
CEILING TILE: PROVIDE 5% OR A MINIMUM OF 10 TILES.
EPOXY: PROVIDE 5 GALLON FULL CONTAINER OF MATERIAL
TILE: PROVIDE FULL BOX OF EACH TILE TYPE/ COLOR SELECTED.

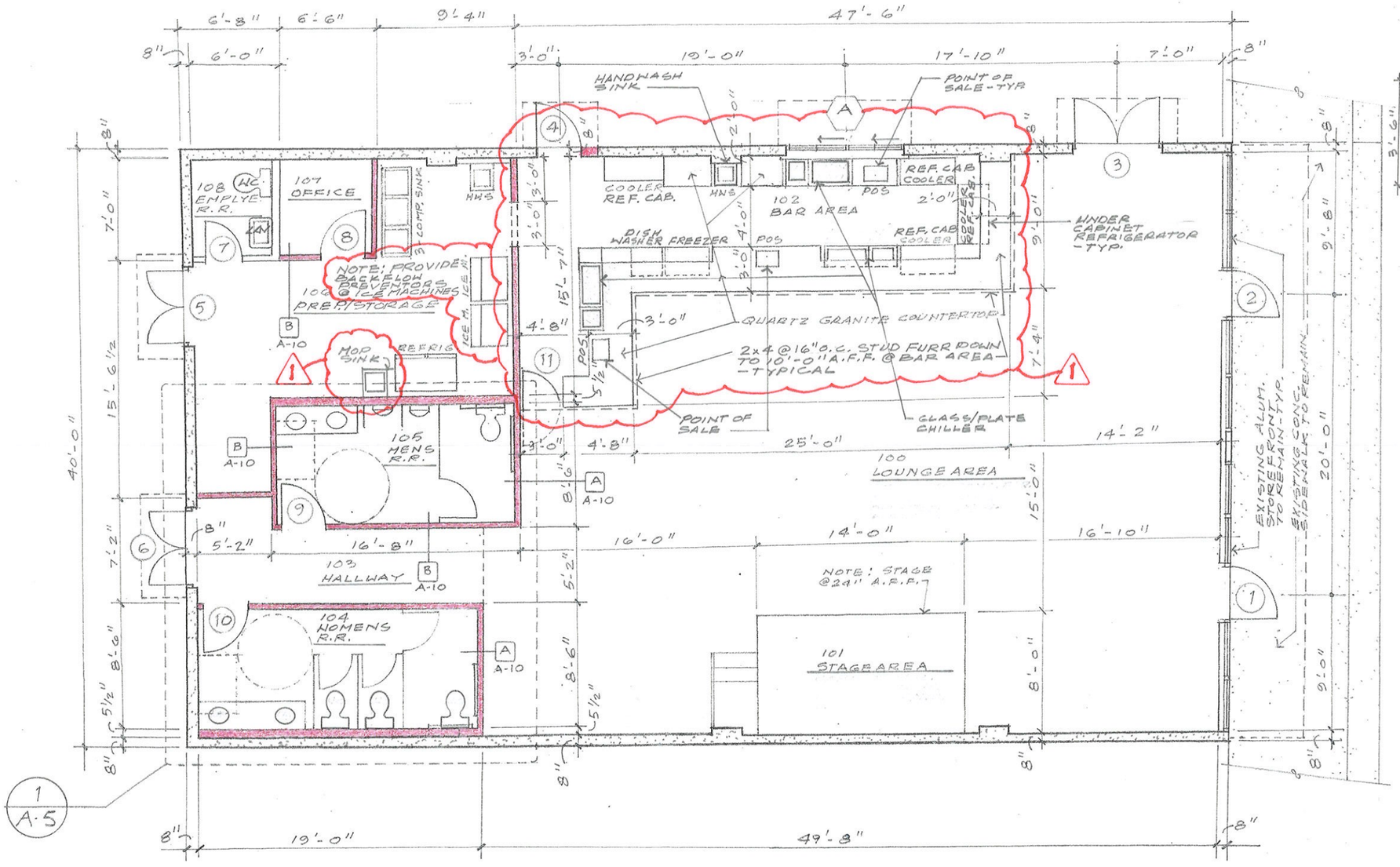
ROOM FINISH SCHEDULE NOTES

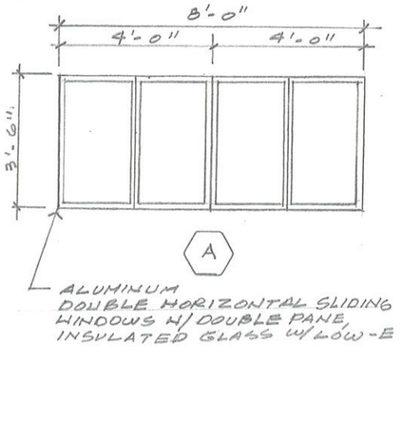
1. CEILING HEIGHTS MAY BE RESTRICTED DUE TO HVAC AND STRUCTURE ABOVE THE CEILING. IN AREAS WHERE FEASIBLE INCREASE THE CEILING HEIGHT AS MUCH AS POSSIBLE.

2. FINISHES/ COLORS TO BE DETERMINED BY OWNER/ ARCHITECT/ INTERIOR DESIGNER.

WALL LEGEND

- EXST'G. MASONRY WALL TO REMAIN
- NEW 2x6's @ 16" O.C. WALL
- NEW 2x4's @ 16" O.C. WALL
- EXST'G. 2x4 STUD WALL TO REMAIN
- EXST'G. 2x6 STUD WALL TO REMAIN





1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLAN NORTH

SQUARE FOOTAGES

A/C SPACE AREA	2,800 S.F.
FRONT PORCH AREA (COVERED)	200 S.F.

REGISTERED ARCHITECT ROEL BAZAN 14289 STATE OF TEXAS
12-2-2023

NO.	REVISIONS/DATE

HDZ DESIGN•BUILD
San Marcos, Texas

DESIGNED FOR:
EDEN LOUNGE
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SAN MARCOS, TEXAS 78666

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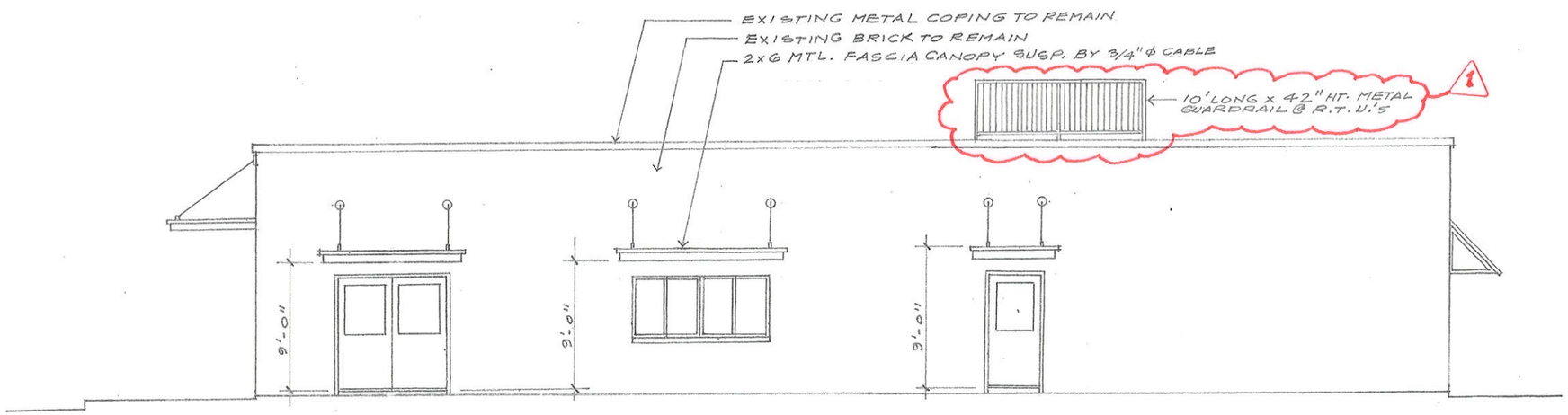
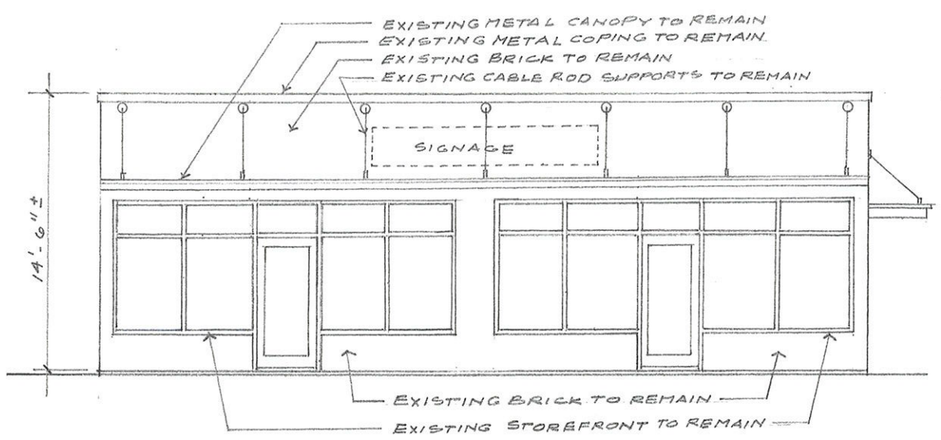
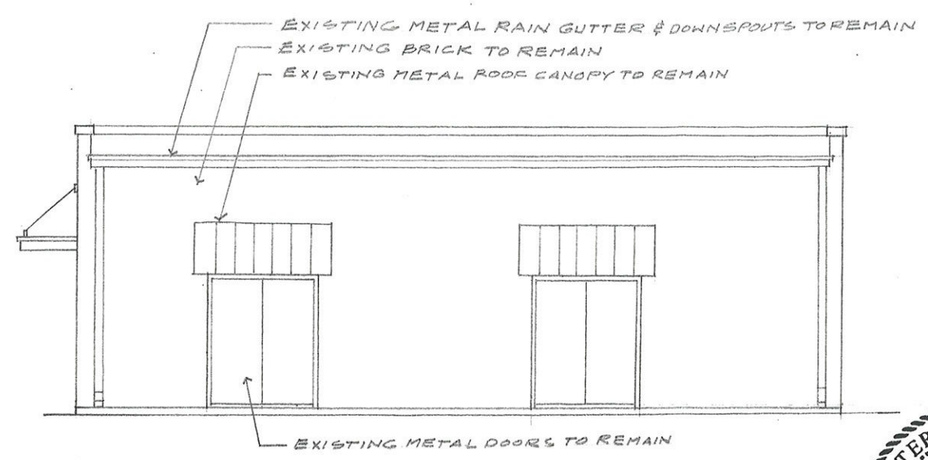


3 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1' — 0"



1 FRONT ELEVATION
SCALE: 1/8" = 1' — 0"



2 REAR ELEVATION
SCALE: 1/8" = 1' — 0"

REGISTERED ARCHITECT
ROEL BAZAN
14289
STATE OF TEXAS
12-2-2023

NO.	REVISIONS/DATE

HDZ
DESIGN • BUILD
San Marcos, Texas

DESIGNED FOR:
EDEN LOUNGE
206 W. SAN ANTONIO ST.
SAN MARCOS, TEXAS 78666

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SHEET:
A-9
of

Comptroller of Public Accounts

You may need to collect sales and/or use tax for other local taxing authorities depending on your type of business.
For additional information, see "Collecting Local Sales and Use Tax" section on the back of this document.
If you have any questions regarding sales tax, visit our website at www.comptroller.texas.gov or call us at 1-800-252-5555

TEXAS ALCOHOLIC BEVERAGE COMMISSION

MB -200125728 **Expires:8/13/2026**

MIXED BEVERAGE PERMIT (MB)

EDEN
206 W SAN ANTONIO ST
SAN MARCOS, TX, US, 78666

FOGLIA HOLDINGS LLC

EXECUTIVE DIRECTOR

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