


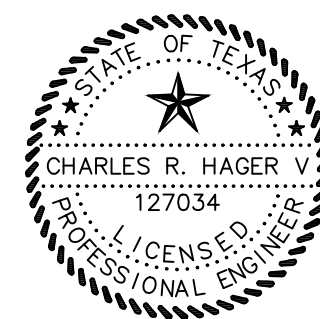
THE WATERS SAN MARCOS PRELIMINARY PLAT (PC-23-11)

THE WATERS SAN MARCOS
PRELIMINARY PLAT
AS-04-001

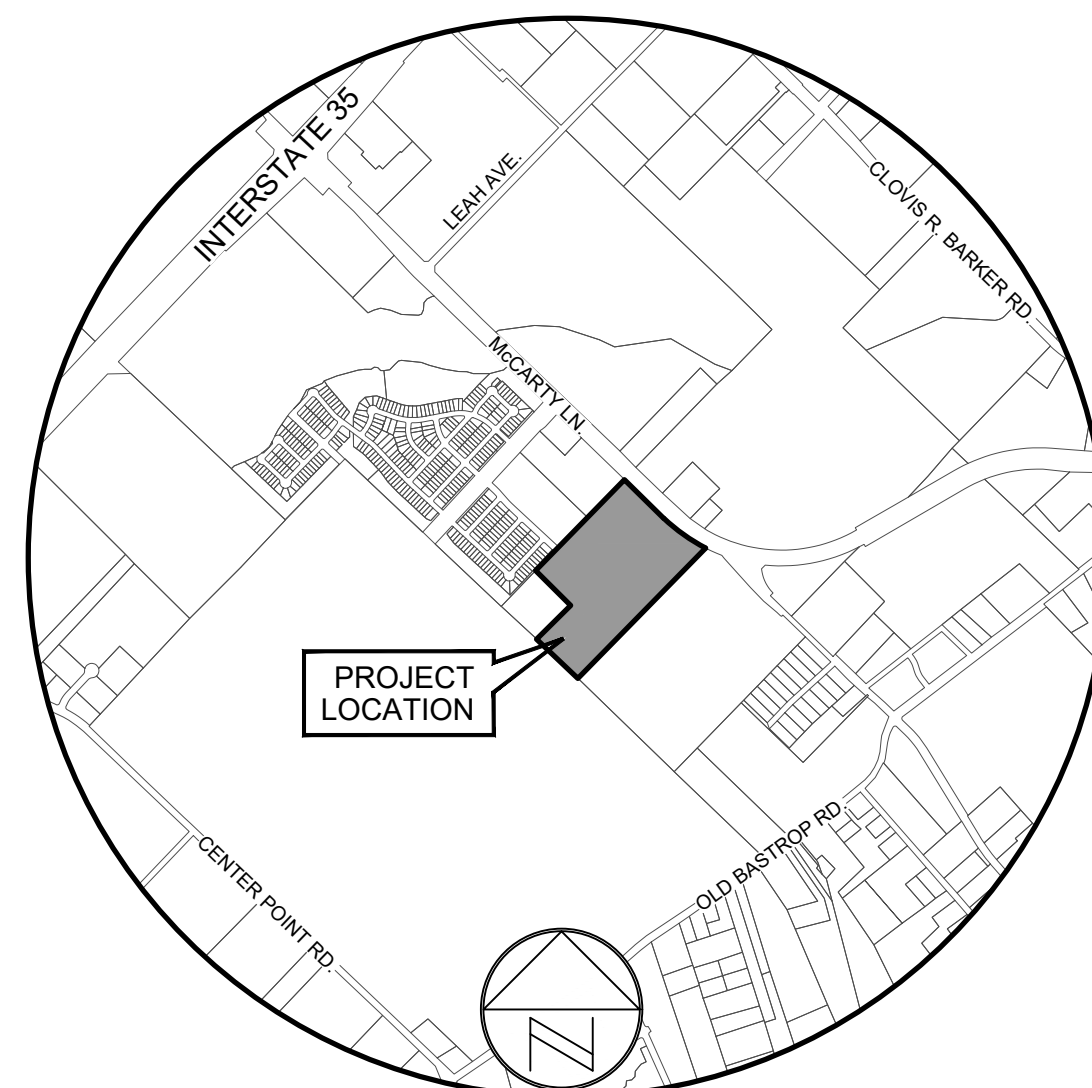
SUBMITTED FOR APPROVAL BY:
LJA ENGINEERING, INC.



CHARLES R. HAGER V, P.E. #127034
LICENSED PROFESSIONAL ENGINEER



JUNE 27, 2023
DATE



LOCATION MAP
(1" = 2000')

ADDRESS
E. McCARTY LANE
SAN MARCOS, TX. 78660
ZONING : CD-5
SITE AREA : 40.72 ACRES

FILING DATE: DECEMBER 23, 2022

SHEET NO.	DESCRIPTION
01	CV01 COVER SHEET
02	OP01 OVERALL PRELIMINARY PLAT
03	PP01 PRELIMINARY PLAT SHEET 01
04	PP02 PRELIMINARY PLAT SHEET 02
05	PP03 PRELIMINARY PLAT SHEET 03
06	PP04 PRELIMINARY PLAT SHEET 04
07	UT01 DRAINAGE & UTILITY PLAN
08	PH01 PHASING PLAN - PHASE 1
09	PH02 PHASING PLAN - PHASE 2
10	PH03 PHASING PLAN - PHASE 3

GENERAL NOTES

- A WATERSHED PROTECTION PLAN (PHASE II), SITE PREPARATION PERMIT, & A PUBLIC IMPROVEMENTS CONSTRUCTION PLAN MUST BE ISSUED BY THE CITY OF SAN MARCOS PRIOR TO CONSTRUCTION OF THIS PROPOSED SUBDIVISION.
- ALL PROPOSED PUBLIC PARKLAND LOTS AND PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARKS BOARD ON MAY 18TH, 2023.
- THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF SAN MARCOS REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT.
- ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT THE OWNERS EXPENSE.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF SAN MARCOS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. SAN MARCOS ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
- NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE CITY OF SAN MARCOS RIVER BANK / CORRIDOR.
- THIS PLAT IS LOCATED ENTIRELY WITHIN THE FULL-PURPOSE JURISDICTION OF THE CITY OF SAN MARCOS.
- THIS PLAT IS LOCATED WITHIN THE CITY OF SAN MARCOS FIRE DEPARTMENT JURISDICTION.
- THIS SUBDIVISION IS ZONED CD-5 (40.72-AC PER ORDINANCE 2022-57).
- THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN MARCOS FIRE DEPARTMENT, OR ITS SUCCESSORS.
- PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
- A 50' WATER QUALITY AND BUFFER ZONE EXISTS ONSITE NEAR EXISTING McCARTY LANE CULVERTS.
- OWNER SHALL DESIGNATE A PROPERTY MANAGEMENT COMPANY THAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION POND. (LOCATED WITHIN LOT 3, BLOCK A). THE PROPERTY MANAGEMENT COMPANY SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARK LOTS.
- THERE ARE NO WETLANDS OR SENSITIVE FEATURE PROTECTION ZONES LOCATED WITHIN THE BOUNDARY OF THE PROJECT, AS DISCUSSED IN THE PHASE 1 ESA PREPARED BY HORIZON ENVIRONMENTAL SERVICES, INC. DATED JULY 27, 2021.
- THERE ARE NO NATURAL SLOPES GREATER THAN 15% WITHIN THE PROJECT BOUNDARY.
- NO PORTION OF THE PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN PER FEMA MAP NO. 48209C0479F DATED SEPTEMBER 2, 2005.
- ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS AND APPROVED BY THE CITY OF SAN MARCOS, AND UPON ACCEPTANCE SHALL BE DEDICATED TO THE CITY FOR MAINTENANCE.
- SIDEWALKS TO BE REQUIRED IN ACCORDANCE WITH SAN MARCOS SPECIFICATIONS.
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAN MARCOS REQUIREMENTS OR AS APPROVED BY THE CITY OF SAN MARCOS.
- ALL CULVERTS, WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT CITY OF SAN MARCOS STANDARDS.
- THE SIDEWALKS FOR THIS SUBDIVISION ARE REQUIRED AND SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS. SIDEWALKS SHALL BE MAINTAINED BY A PROPERTY MANAGEMENT COMPANY AND ARE REQUIRED ON BOTH SIDES OF PROPOSED STREETS.
- IN APPROVING THIS PLAT, IT IS UNDERSTOOD THAT THE CONSTRUCTION OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES, OR IN CONNECTION THEREWITH SHALL BE THE RESPONSIBILITY OF THE OWNER AND / OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT, IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF SAN MARCOS. THE CITY OF SAN MARCOS ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR CONSTRUCTION OF ANY CULVERTS IN CONNECTION THEREWITH.
- DRAINAGE CALCULATIONS, DETENTION POND IMPROVEMENTS, AND OTHER DRAINAGE FACILITIES SHOWN HEREIN ARE FOR PLANNING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION PURPOSES. FINAL CONSTRUCTION PLANS FOR THESE IMPROVEMENTS SHALL BE PREPARED, SUBMITTED, AND APPROVED UNDER SEPERATE COVER.
- WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF SAN MARCOS.
- ELECTRIC SERVICE SHALL BE SUPPLIED BY BLUEBONNET ELECTRIC COOPERATIVE.
- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERPOINT GAS SERVICE.
- POST DEVELOPED RUN-OFF RATE SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES PER CITY OF SAN MARCOS REGULATIONS. PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS SHALL BE INCLUDED WITH FUTURE CONSTRUCTION DRAWINGS FOR THIS SITE.

FLOODPLAIN INFORMATION

THE SUBJECT TRACT LIES WITHIN ZONE "X" (OUTSIDE LIMITS OF 100-YEAR FLOODPLAIN) BASED ON FIRM NO. 48209C0479F, EFFECTIVE DATE SEPTEMBER 2, 2005.

LEGAL DESCRIPTION:

40.72 ACRES OF LAND, MORE OR LESS, LYING IN THE CYRUS WICKSON SURVEY, ABSTRACT NO. 474, HAYS COUNTY, TEXAS, A PORTION OF THE PROPERTY CONVEYED TO EDMUND JASTER HAYS COUNTY PARTNERSHIP, IN VOLUME 1276, PAGE 880 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

SUBDIVISION ACREAGE SUMMARY

Total Acreage Existing	40.72
Total Acreage Proposed	40.72
Total Acreage of ROW/ Streets in Subdivision	8.52
Total Length of Streets in Subdivision	6,008 lf

STREET SUMMARY

NOTE: CALCULATIONS BELOW ARE INDICATIVE ONLY AND ARE SUBJECT TO PICP AND FINAL PLAT APPROVAL IN ACCORDANCE WITH THE COSM LAND DEVELOPMENT CODE.

Street Summary				
Street Name	Street Length (LF)	Pavement Width	Right-Of-Way Width	Sidewalk Width
Deep Eddy Blvd.	1890.00	26' F-F	66'	5' Each Side
Cypress Falls Rd.	1948.14	26' F-F	66'	5' Each Side
Warren Falls Rd.	1042.69	26' F-F	66'	5' Each Side
Windsor Blvd.	1043.90	26' F-F	66'	5' Each Side

LOT SUMMARY

LOT/BLOCK SUBDIVISION SUMMARY							
BLOCK	ZONING	LAND USE	LOT SUMMARY		AREA		PERIMET ER (LF)
			RESIDENTIAL	OPEN SPACE / PARK	SF	AC	
A	CD-5	MIXED	1	1	217,737	5.00	1,871
B	CD-5	MIXED	1	1	212,841	4.89	1,817
C	CD-5	PARKLAND	0	1	17,615	0.40	782
D	CD-5	MIXED	1	1	223,619	5.13	1,856
E	CD-5	MIXED	2	1	248,652	5.71	1,987
F	CD-5	MIXED	1	1	140,188	3.22	1,566
G	CD-5	MIXED	1	1	342,138	7.85	2,389
TOTAL			7	7	1,402,790	32.20	12,268

BUILDING / PARKING SETBACK SUMMARY

CD-5 ZONED LOT	0' MIN. - 12' MAX.
PRIMARY STREET	0' MIN. - 12' MAX.
SECONDARY STREET	0' MIN.
SIDE	0' MIN.
REAR	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST SECOND LAYER)

Lot Summary		
Description	No. of Lots	Acreage
Prop. Street Right-Of-Way	n/a	8.52
Apartment Lots (CD-5) *	7	22.03
Park / Open Space Lots	7	10.18
Total	14	40.72

NOTE: ALL LOTS WITHIN THE SUBDIVISION THAT ARE NOT LISTED AS PARK LOTS MAY BE DEVELOPED WITH ANY CD-5 ZONING DISTRICT LAND USE OR USES.

OWNER: AV McCARTY LANE GP LLC & SM McCARTY LANE LLC
1801 LAVACA STREET, SUITE 116
AUSTIN, TEXAS 78701
CONTACT PERSON: SHRAVAN PARSII
EMAIL: SHRAVAN@AMERICANVENTURES.COM
PHONE: (210) 862-5294

DEVELOPER: AMERICAN VENTURES LLC
1801 LAVACA STREET, SUITE 116
AUSTIN, TEXAS 78701
CONTACT PERSON: SHRAVAN PARSII
EMAIL: SHRAVAN@AMERICANVENTURES.COM
PHONE: (210) 862-5294

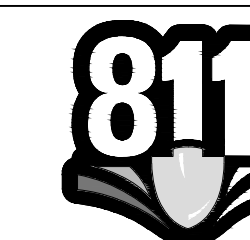
ENGINEER: LJA ENGINEERING, INC.
7500 RIALTO BOULEVARD, BUILDING II, SUITE 100
AUSTIN TEXAS 78735
CONTACT PERSON: CHARLES HAGER, P. E.
EMAIL: CHAGER@LJA.COM
PHONE: (512) 439-4700
FAX: (512) 439-4716

SURVEYOR: LJA SURVEYING
7500 RIALTO BOULEVARD, BUILDING II, SUITE 100
AUSTIN, TX 78735
CONTACT PERSON: JEREMY KOWIS, R.P.L.S.
PHONE: (512) 493-4700
FAX: (512) 493-4716

CONTOUR DATA: PARTIAL ON THE GROUND SURVEY BY LJA SURVEYING (ONE FOOT INTERVAL)
PARTIAL CITY OF SAN MARCOS GIS 2-FT CONTOURS DATED 2020

NOTE: NO CERTIFICATE OF OCCUPANCY FOR ANY UNITS PROPOSED ON THIS SUBDIVISION UNTIL PUBLIC SEWER HAS BEEN PROVIDED AND ROAD CONSTRUCTION IS COMPLETED AND APPROVED

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



Know what's below.
Call before you dig.

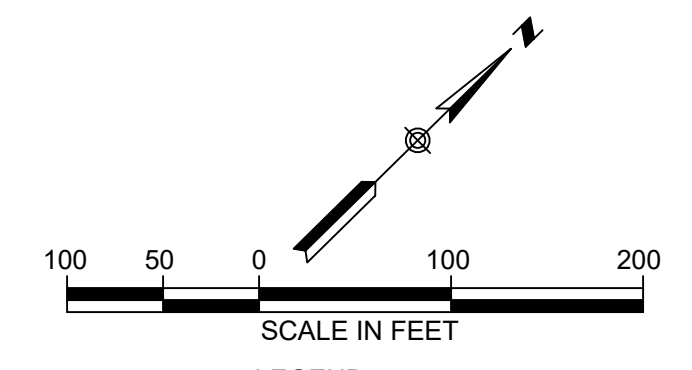
LJA Engineering, Inc.

7500 Rialto Boulevard
Building II, Suite 100
Austin, Texas 78735

Phone 512.439.4700
Fax 512.439.4716
FRN - F-1386

American Ventures

THE WATERS - SAN MARCOS
PRELIMINARY PLAT
OVERALL PRELIMINARY PLAT
E. MCCARTY LANE, SAN MARCOS, TEXAS 78666



LEGEND

---	667	EXISTING CONTOUR MINOR
---	670	EXISTING CONTOUR MAJOR
---		SUBDIVISION BOUNDARY LINE
---		PROPOSED PROPERTY LINE
---		EASEMENT LINE
---		SETBACK LINE
---		DRAINAGE CENTERLINE
---		CITY LIMIT BOUNDARY
---		WATER QUALITY / BUFFER ZONE
---	ST	STORM SEWER LINE
---	WW	WASTEWATER LINE
---	WL	WASTEWATER SERVICE
---	WL	WATER LINE
---		WATER SERVICE
---		PROPOSED PARK LOT
---		SIDEWALK REQUIRED (5' MIN. UNLESS OTHERWISE NOTED)
---		5/8" IRON ROD WITH PLASTIC CAP STAMPED "LJA SURVEY" SET
---		IRON ROD FOUND (AS NOTED)
---		IRON PIPE FOUND (AS NOTED)

BEARING BASIS:
ALL BEARING BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4204), NAD83. ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.00013.
ALL COORDINATES GIVEN ARE SURFACE VALUES, UNLESS OTHERWISE NOTED.
OBSERVATIONS WERE COLLECTED USING ALTERA VRS NETWORK.

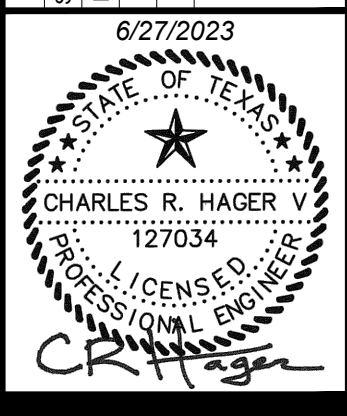
UTILITY NOTE:
THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY) ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.

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BUILDING / PARKING SETBACK SUMMARY

CD-5 ZONED LOT	0' MIN. - 12' MAX.
PRIMARY STREET	0' MIN. - 12' MAX.
SECONDARY STREET	0' MIN.
SIDE REAR	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST 2ND LAYER)

NO.	DATE	DESCRIPTION
1	01/16/2023	DESIGNED BY: RJS
2		DRAWN BY: RJS
3		CHECKED BY: CRH
4		DRAWING NAME: ASSESSMENT.PLOT001



American Ventures
Phone 512.439.4700
Fax 512.439.4716
7500 Riello Boulevard
Building II, Suite 100
Austin, Texas 78735
FRN-LF-1386

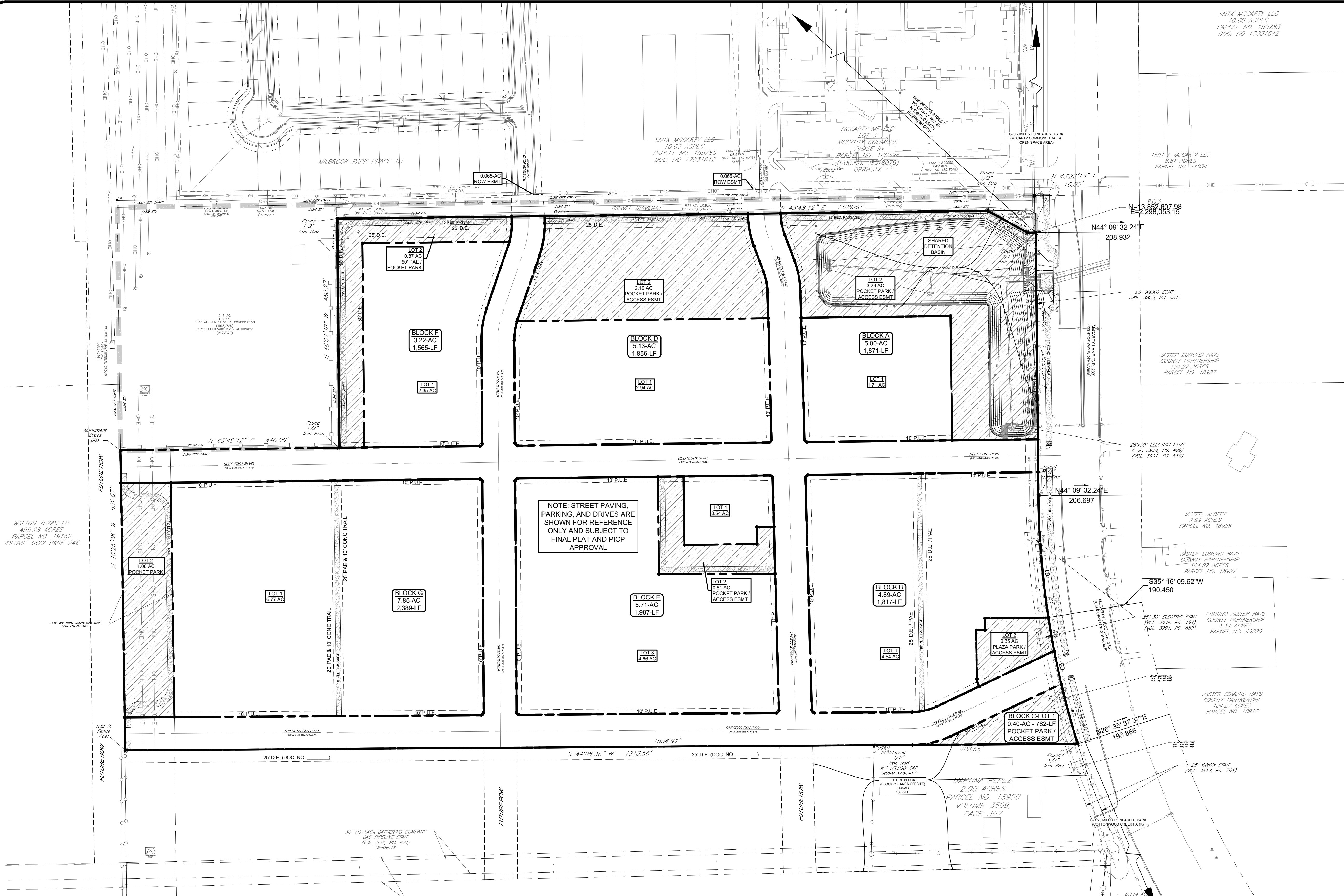
LJA Engineering, Inc.
JOB NUMBER: A634-0401

OP01
SHEET NO. 02 OF 10 SHEETS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

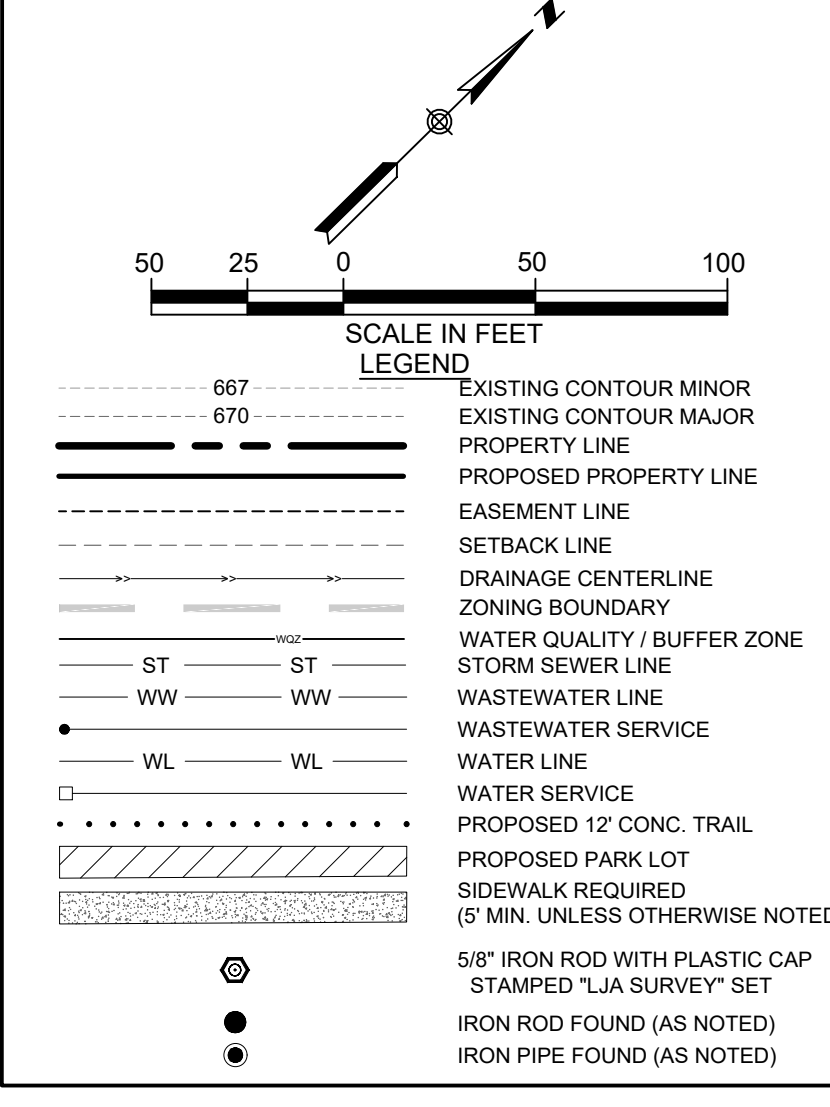


- ACCESS NOTES:**
- PER THE TIA SUBMITTED WITH THIS PRELIMINARY PLAT (PREPARED BY KIMLEY HORN), A RIGHT TURN LANE SHALL BE INSTALLED PER TIA RECOMMENDATIONS, OR AS SHOWN HEREIN. CoSM PROJECT NO. 2022-43975.
 - PER CoSM COMPREHENSIVE PLAN REQUIREMENTS, A GREENWAY TRAIL IS REQUIRED AT THE TIME OF DEVELOPMENT. THE TRAIL SHALL BE INSTALLED 7' BEHIND THE MCCARTY LANE CURB/EDGE OF PAVEMENT. SHALL BE 12' WIDE (CONSTRUCTED OF ASPHALT OR CONCRETE), AND SHALL HAVE MINIMUM OF 13' FROM EDGE OF TRAIL TO EASEMENT OR R.O.W.
 - UTILITY, STORM AND STREET LAYOUT SHOWN HEREIN SUBJECT TO CHANGE WITH FINAL DESIGN.
 - PROPOSED STREET CONNECTIONS TO ADJACENT LOTS AT MCCARTY COMMONS REQUIRE APPROVAL FROM LRCA AND TWO ROW EASEMENTS PRIOR TO CONSTRUCTION.
 - CONNECTIONS TO THE ADJACENT MCCARTY COMMONS AND MILLBROOK PARK SUBDIVISION TO THE NORTH WEST ARE REQUIRED BEFORE APPROVAL OF THE FINAL PLAT.
- PARKLAND NOTE:**
- PARKLAND DEDICATION AND A PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARK BOARD ON MAY 18TH 2023.
 - ALL PARKS SHALL BE A MINIMUM OF 20' IN WIDTH AND DEDICATED WITH A PUBLIC ACCESS EASEMENT IN ACCORDANCE WITH SECTIONS 3.6.2.1.C.3 AND 3.7.2.6 OF THE CoSM LDC.
- SIDEWALK / TRAIL NOTES:**
- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL PROPOSED STREETS. A 12' GREENWAY TRAIL IS REQUIRED ALONG THE SUBDIVISION FRONTAGE WITH MCCARTY LANE MEETING CITY GREENWAY REQUIREMENTS.
 - ALL PEDESTRIAN PASSAGES SHOWN HEREON REQUIRE A MINIMUM 20' PUBLIC ACCESS EASEMENT WITH 10' CONCRETE TRAIL.



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I:\624-AmericanVentures\624\624\Sheets\Feebriary_Pla\A634-0401-PP-020.dwg
 User: baurpfrace
 Plot Date: Jun 27, 2023 12:38:33
 Plot Size: 11.00 x 17.00
 Plot Scale: 1" = 100'-0"



BEARING BASIS:
 ALL BEARING BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4204), NAD83, ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.00013.

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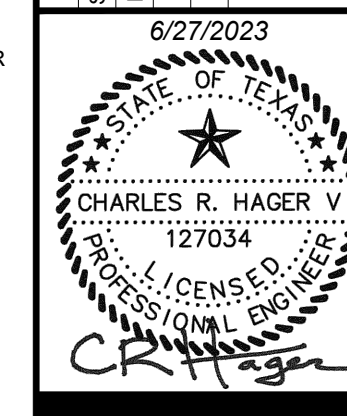
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SECONDARY STREET	0' MIN. - 12' MAX.
SIDE	0' MIN.
REAR	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST 2ND LAYER)

ROW IMPROVEMENTS NOTE:
 1. ALL PROPOSED STREET, PARKING, DRIVEWAY, AND SIDEWALKS SHOWN WITHIN PROPOSED ROW AREAS HEREON ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO PICIP EVALUATION, REVIEW, AND APPROVAL. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN THE FINAL DESIGN.

NO.	REVISIONS	DATE

DESIGNED BY:	RJS
DRAWN BY:	RJS
CHECKED BY:	CRH
DRAWING NAME:	25516426.PDF



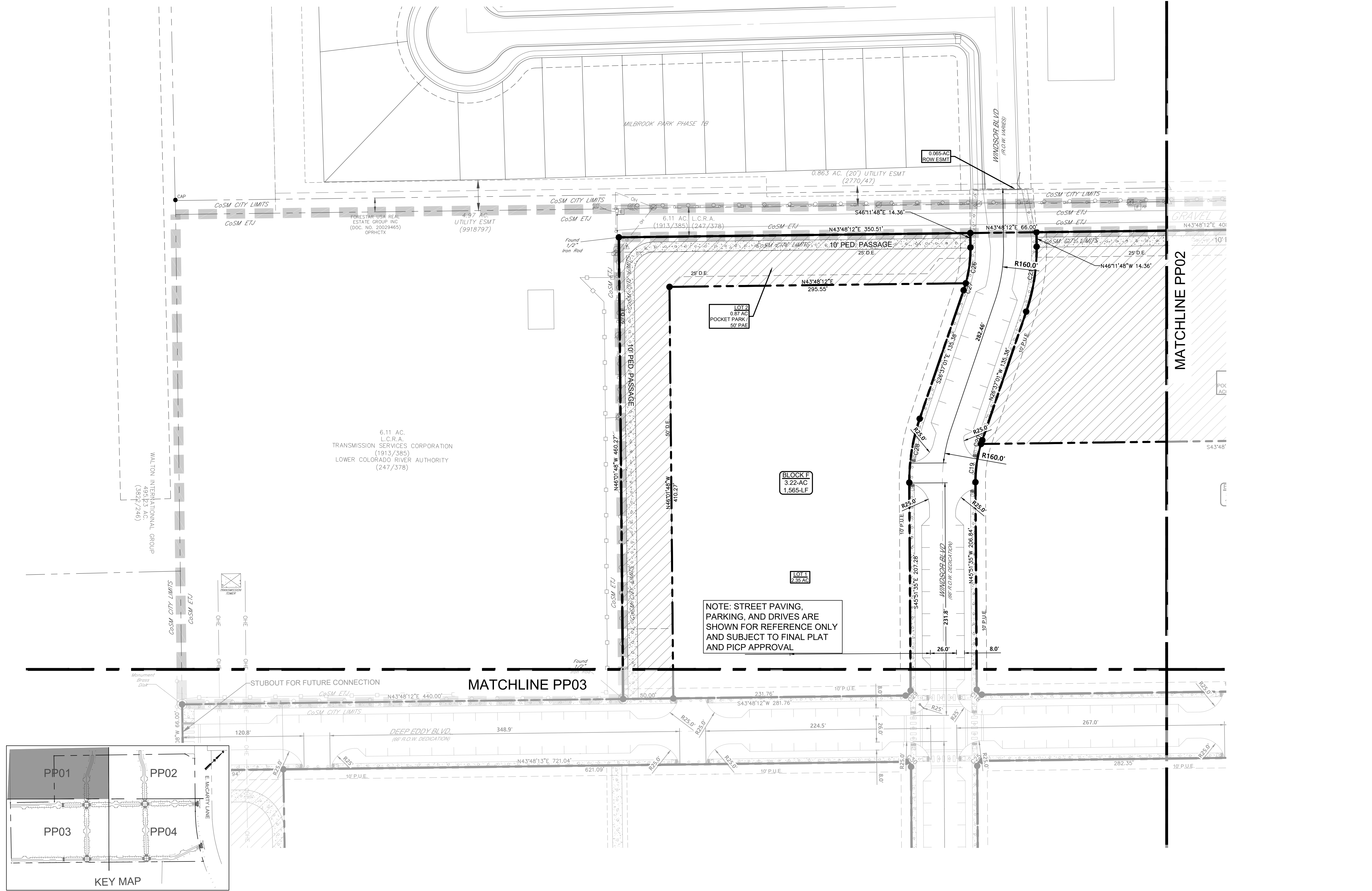
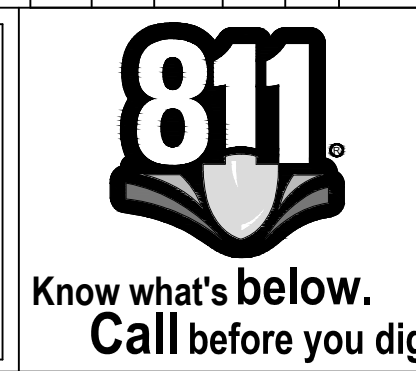
American Ventures

Phone 512.439.4700
 Fax 512.439.4716
 7500 Realto Boulevard
 Building II, Suite 100
 Austin, Texas 78735

LJA Engineering, Inc.
 JOB NUMBER: A634-0401
 SHEET NO. PP01
 OF 10 SHEETS

Curve #	Length	Radius	Delta	Chord	Chord Bearing
CC1	246.115	1728.000	8.165	245.81	S81°09'49.26"E
CC2	86.000	1728.000	3.289	85.80	S12°22'58.92"E
CC3	107.882	1728.000	3.241	107.48	S81°07'30.87"E
CC4	124.838	1728.000	4.128	124.81	S81°04'12.86"E
CC5	7.778	5.000	88.146	7.70	S88°22'31.36"E
CC6	83.800	103.000	18.847	83.54	N81°01'14.97"E
CC7	2.985	111.070	22.878	4.08	S81°05'19.97"E
CC8	2.880	5.000	90.856	2.72	N81°07'52.64"E
CC9	7.752	5.000	88.888	7.68	S88°31'41.26"E
CC10	51.961	117.000	24.982	51.58	S11°31'12.87"E
CC11	12.792	20.000	26.188	12.78	N81°02'24.74"E
CC12	78.718	103.000	24.987	78.50	N81°07'30.87"E
CC13	86.710	103.000	18.804	86.38	S81°05'55.37"E
CC14	82.001	107.000	18.847	81.81	S81°01'14.97"E
CC15	7.880	5.000	90.856	7.72	S81°07'52.64"E
CC16	7.880	5.000	90.856	7.72	S81°07'52.64"E
CC17	42.693	107.000	18.248	42.45	N81°04'18.97"E
CC18	3.887	107.000	18.248	3.80	N27°31'07.68"E
CC19	43.694	103.000	18.248	43.48	N81°04'18.97"E
CC20	7.778	5.000	88.146	7.70	S88°22'31.36"E
CC21	7.880	5.000	91.160	7.74	S81°02'16.64"E
CC22	7.880	5.000	90.856	7.72	S81°07'52.64"E
CC23	86.710	103.000	18.804	86.38	S81°05'55.37"E
CC24	7.880	5.000	90.856	7.72	S81°07'52.64"E
CC25	86.710	103.000	18.804	86.38	S81°05'55.37"E
CC26	7.880	5.000	90.856	7.72	S81°07'52.64"E
CC27	7.880	5.000	90.856	7.72	S81°07'52.64"E

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

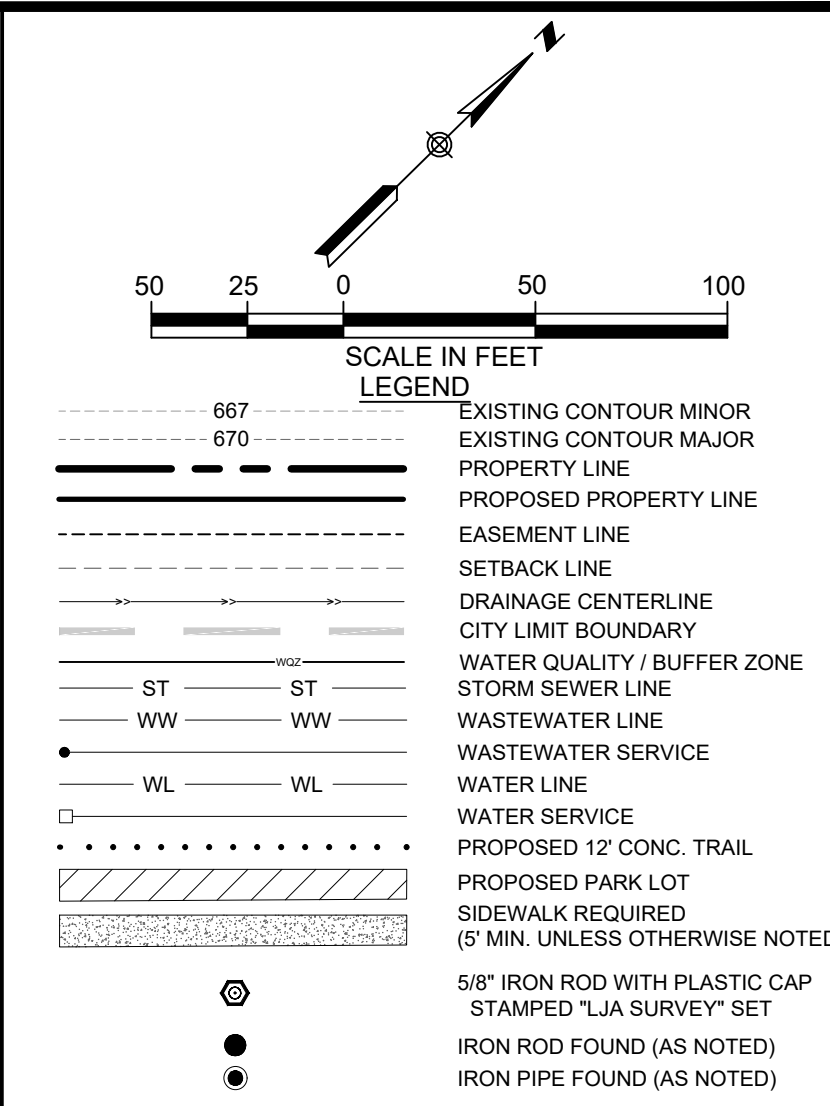
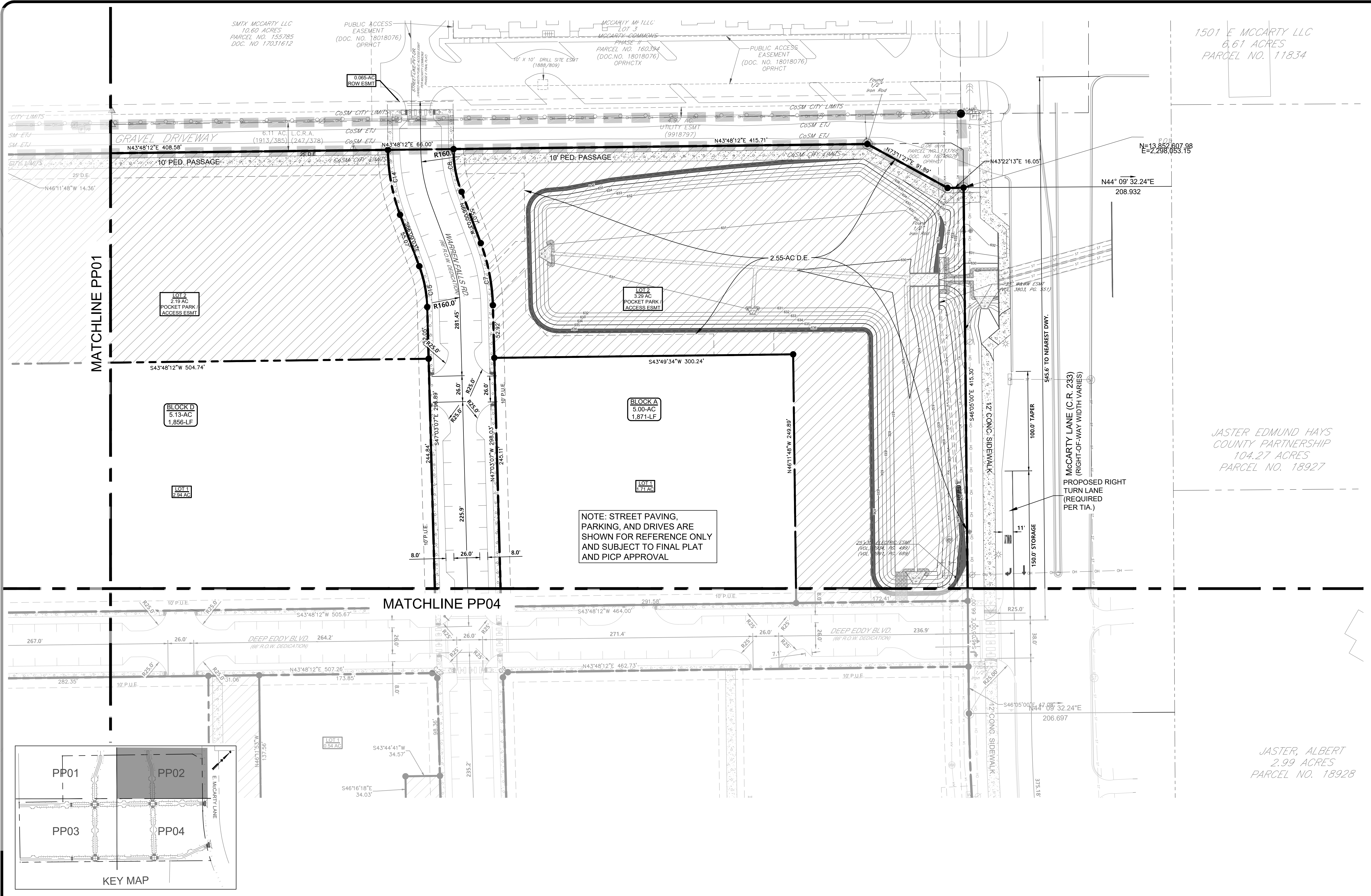


- GENERAL NOTES:**
- A WATERSHED PROTECTION PLAN (PHASE II), SITE PREPARATION PERMIT, & A PUBLIC IMPROVEMENTS CONSTRUCTION PLAN WILL BE ISSUED BY THE CITY OF SAN MARCOS PRIOR TO CONSTRUCTION OF THIS PROPOSED SUBDIVISION.
 - THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF SAN MARCOS REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT.
 - ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT THE OWNERS EXPENSE.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF SAN MARCOS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. SAN MARCOS ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE CITY OF SAN MARCOS RIVER BANK / CORRIDOR.
 - THIS PLAT IS LOCATED ENTIRELY WITHIN THE FULL-PURPOSE JURISDICTION OF THE CITY OF SAN MARCOS.
 - THIS PLAT IS LOCATED WITHIN THE CITY OF SAN MARCOS FIRE DEPARTMENT JURISDICTION.
 - THIS SUBDIVISION IS ZONED CD-5 (40.72-AC PER ORDINANCE 2022-57).
 - THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN MARCOS FIRE DEPARTMENT, OR ITS SUCCESSORS.
 - PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
 - A 50' WATER QUALITY AND BUFFER ZONE EXISTS ON-SITE NEAR EXISTING MCCARTY LANE CULVERTS.
 - OWNER SHALL DESIGNATE A PROPERTY MANAGEMENT COMPANY THAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION POND, (LOCATED WITHIN LOT 3, BLOCK A). THE PROPERTY MANAGEMENT COMPANY SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARK LOTS.
 - THERE ARE NO WETLANDS OR SENSITIVE FEATURE PROTECTION ZONES LOCATED WITHIN THE BOUNDARY OF THE PROJECT, AS DISCUSSED IN THE PHASE I ESA PREPARED BY HORIZON ENVIRONMENTAL SERVICES, INC. DATED MARCH 10, 2021.

- THERE ARE NO NATURAL SLOPES GREATER THAN 15% WITHIN THE PROJECT BOUNDARY.
- NO PORTION OF THE PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN PER FEMA MAP NO. 48209C0479F DATED SEPTEMBER 2, 2005.
- ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS AND APPROVED BY THE CITY OF SAN MARCOS, AND UPON ACCEPTANCE SHALL BE DEDICATED TO THE CITY FOR MAINTENANCE.
- SIDEWALKS TO BE REQUIRED IN ACCORDANCE WITH SAN MARCOS SPECIFICATIONS.
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAN MARCOS REQUIREMENTS OR AS APPROVED BY THE CITY OF SAN MARCOS.
- ALL CULVERTS, WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT CITY OF SAN MARCOS STANDARDS.
- SIDEWALKS FOR THIS SUBDIVISION ARE REQUIRED AND SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS. SIDEWALKS SHALL BE MAINTAINED BY A PROPERTY MANAGEMENT COMPANY AND ARE REQUIRED ON BOTH SIDES OF PROPOSED STREETS.
- IN APPROVING THIS PLAT, IT IS UNDERSTOOD THAT THE CONSTRUCTION OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES, OR IN CONNECTION THEREWITH SHALL BE THE RESPONSIBILITY OF THE OWNER AND / OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT, IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF SAN MARCOS. THE CITY OF SAN MARCOS ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR CONSTRUCTION OF ANY CULVERTS IN CONNECTION THEREWITH.
- DRAINAGE CALCULATIONS, DETENTION POND IMPROVEMENTS, AND OTHER DRAINAGE FACILITIES SHOWN HEREIN ARE FOR PLANNING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION PURPOSES. FINAL CONSTRUCTION PLANS FOR THESE IMPROVEMENTS SHALL BE PREPARED, SUBMITTED, AND APPROVED UNDER SEPARATE COVER.
- WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF SAN MARCOS.
- ELECTRIC SERVICE SHALL BE SUPPLIED BY BLUEBONNET ELECTRIC COOPERATIVE.
- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERTOP GAS SERVICE.
- POST DEVELOPED RUN-OFF RATE SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES PER CITY OF SAN MARCOS REGULATIONS. PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS SHALL BE INCLUDED WITH FUTURE CONSTRUCTION DRAWINGS FOR THIS SITE.

- ACCESS NOTES:**
- PER THE TIA SUBMITTED WITH THIS PRELIMINARY PLAT (PREPARED BY KIMLEY HORN), A RIGHT TURN LANE SHALL BE INSTALLED PER TIA RECOMMENDATIONS, OR AS SHOWN HEREIN. CoSM PROJECT NO. 2022-43975.
 - PER CoSM COMPREHENSIVE PLAN REQUIREMENTS, A GREENWAY TRAIL IS REQUIRED AT THE TIME OF DEVELOPMENT. THE TRAIL SHALL BE INSTALLED 7' BEHIND THE MCCARTY LANE CURBEDGE OF PAVEMENT, SHALL BE 12' WIDE (CONSTRUCTED OF ASPHALT OR CONCRETE), AND SHALL HAVE MINIMUM OF 13' FROM EDGE OF TRAIL TO EASEMENT OR R.O.W.
 - UTILITY, STORM AND STREET LAYOUT SHOWN HEREIN SUBJECT TO CHANGE WITH FINAL DESIGN.
 - PROPOSED STREET CONNECTIONS TO ADJACENT LOTS AT MCCARTY COMMONS REQUIRE APPROVAL FROM LRCA AND TWO ROW EASEMENTS PRIOR TO CONSTRUCTION.
 - CONNECTIONS TO THE ADJACENT MCCARTY COMMONS AND MILLBROOK PARK SUBDIVISION TO THE NORTH WEST ARE REQUIRED BEFORE APPROVAL OF THE FINAL PLAT.
- PARKLAND NOTE:**
- PARKLAND DEDICATION AND A PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARK BOARD ON MAY 18TH 2023.
 - ALL PARKS SHALL BE A MINIMUM OF 20' IN WIDTH AND DEDICATED WITH A PUBLIC ACCESS EASEMENT IN ACCORDANCE WITH SECTIONS 3.6.2.1.C.3 AND 3.7.2.6 OF THE CoSM LDC.
- SIDEWALK / TRAIL NOTES:**
- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL PROPOSED STREETS. A 12' GREENWAY TRAIL IS REQUIRED ALONG THE SUBDIVISION FRONTAGE WITH MCCARTY LANE MEETING CITY GREENWAY REQUIREMENTS.
 - ALL PEDESTRIAN PASSAGES SHOWN HEREON REQUIRE A MINIMUM 20' PUBLIC ACCESS EASEMENT WITH 10' CONCRETE TRAIL.

I:\2024\AmericanVentures\0401\Sheets\Feb2024\PC-23-11-PP01.dwg
 User: baurphree
 Plot Date: 2/27/2024 10:23:26 AM
 Plot Size: 11.00 x 17.00
 Plot Scale: 1" = 10'-0"



BEARING BASIS:
 ALL BEARING BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4204), NAD83. ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.00013.
 ALL COORDINATES GIVEN ARE SURFACE VALUES, UNLESS OTHERWISE NOTED.
 OBSERVATIONS WERE COLLECTED USING ALTERA VRS NETWORK

UTILITY NOTE:
 THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY). ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.

LEGAL DESCRIPTION:
 40.72 ACRES OF LAND, MORE OR LESS, LYING IN THE CYRUS WICKSON SURVEY, ABSTRACT NO. 474, HAYS COUNTY, TEXAS, A PORTION OF THE PROPERTY CONVEYED TO EDWARD JASTER HAYS COUNTY PARTNERSHIP, IN VOLUME 1276, PAGE 880 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

BUILDING / PARKING SETBACK SUMMARY

CD-5 ZONED LOT	0' MIN. - 12' MAX.
PRIMARY STREET	0' MIN. - 12' MAX.
SECONDARY STREET	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST 2ND LAYER)

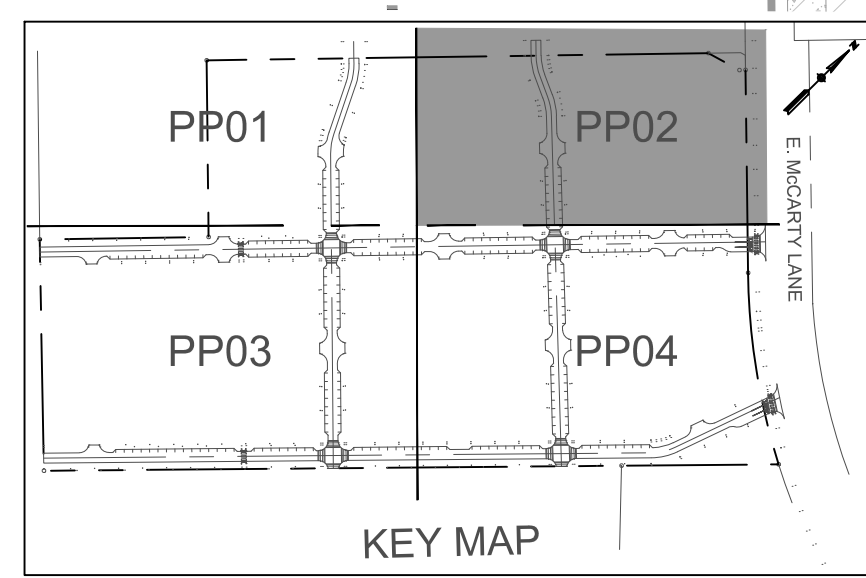
ROW IMPROVEMENTS NOTE:
 1. ALL PROPOSED STREET, PARKING, DRIVEWAY, AND SIDEWALKS SHOWN WITHIN PROPOSED ROW AREAS HEREON ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO PICP EVALUATION, REVIEW, AND APPROVAL. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN THE FINAL DESIGN.

NOTE: STREET PAVING, PARKING, AND DRIVES ARE SHOWN FOR REFERENCE ONLY AND SUBJECT TO FINAL PLAT AND PICP APPROVAL

1501 E MCCARTY LLC
 0.61 ACRES
 PARCEL NO. 11834

JASTER EDMUND HAYS
 COUNTY PARTNERSHIP
 104.27 ACRES
 PARCEL NO. 18927

JASTER, ALBERT
 2.99 ACRES
 PARCEL NO. 18928



GENERAL NOTES:

- A WATERSHED PROTECTION PLAN (PHASE II), SITE PREPARATION PERMIT, & A PUBLIC IMPROVEMENTS CONSTRUCTION PLAN MUST BE ISSUED BY THE CITY OF SAN MARCOS PRIOR TO CONSTRUCTION OF THIS PROPOSED SUBDIVISION.
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- PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
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- OWNER SHALL DESIGNATE A PROPERTY MANAGEMENT COMPANY THAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION POND, (LOCATED WITHIN LOT 3, BLOCK A). THE PROPERTY MANAGEMENT COMPANY SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARK LOTS.
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- DRAINAGE CALCULATIONS, DETENTION POND IMPROVEMENTS, AND OTHER DRAINAGE FACILITIES SHOWN HEREIN ARE FOR PLANNING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION PURPOSES. FINAL CONSTRUCTION PLANS FOR THESE IMPROVEMENTS SHALL BE PREPARED, SUBMITTED, AND APPROVED UNDER SEPARATE COVER.
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- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERPOINT GAS SERVICE.
- POST DEVELOPED RUN-OFF RATE SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES PER CITY OF SAN MARCOS REGULATIONS. PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS SHALL BE INCLUDED WITH FUTURE CONSTRUCTION DRAWINGS FOR THIS SITE.

ACCESS NOTES:

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- PER CoSM COMPREHENSIVE PLAN REQUIREMENTS, A GREENWAY TRAIL IS REQUIRED AT THE TIME OF DEVELOPMENT. THE TRAIL SHALL BE INSTALLED 7' BEHIND THE MCCARTY LANE CURBEDGE OF PAVEMENT. SHALL BE 12' WIDE (CONSTRUCTED OF ASPHALT OR CONCRETE), AND SHALL HAVE MINIMUM OF 3' FROM EDGE OF TRAIL TO EASEMENT OR R.O.W.
- UTILITY, STORM AND STREET LAYOUT SHOWN HEREIN SUBJECT TO CHANGE WITH FINAL DESIGN.
- PROPOSED STREET CONNECTIONS TO ADJACENT LOTS AT MCCARTY COMMONS REQUIRE APPROVAL FROM LRCA AND TWO ROW EASEMENTS PRIOR TO CONSTRUCTION
- CONNECTIONS TO THE ADJACENT MCCARTY COMMONS AND MILL BROOK PARK SUBDIVISION TO THE NORTH WEST ARE REQUIRED BEFORE APPROVAL OF THE FINAL PLAT

PARKLAND NOTE:

- PARKLAND DEDICATION AND A PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARK BOARD ON MAY 18TH 2023.
- ALL PARKS SHALL BE A MINIMUM OF 20' IN WIDTH AND DEDICATED WITH A PUBLIC ACCESS EASEMENT IN ACCORDANCE WITH SECTIONS 3.6.2.1.C.3 AND 3.7.2.6 OF THE CoSM LDC.

SIDEWALK / TRAIL NOTES:

- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL PROPOSED STREETS. A 12' GREENWAY TRAIL IS REQUIRED ALONG THE SUBDIVISION FRONTAGE WITH MCCARTY LANE MEETING CITY GREENWAY REQUIREMENTS.
- ALL PEDESTRIAN PASSAGES SHOWN HEREON REQUIRE A MINIMUM 20' PUBLIC ACCESS EASEMENT WITH 10' CONCRETE TRAIL.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

THE WATERS - SAN MARCOS PRELIMINARY PLAT
 PRELIMINARY PLAT SHEET 02
 E. MCCARTY LANE, SAN MARCOS, TEXAS 78686

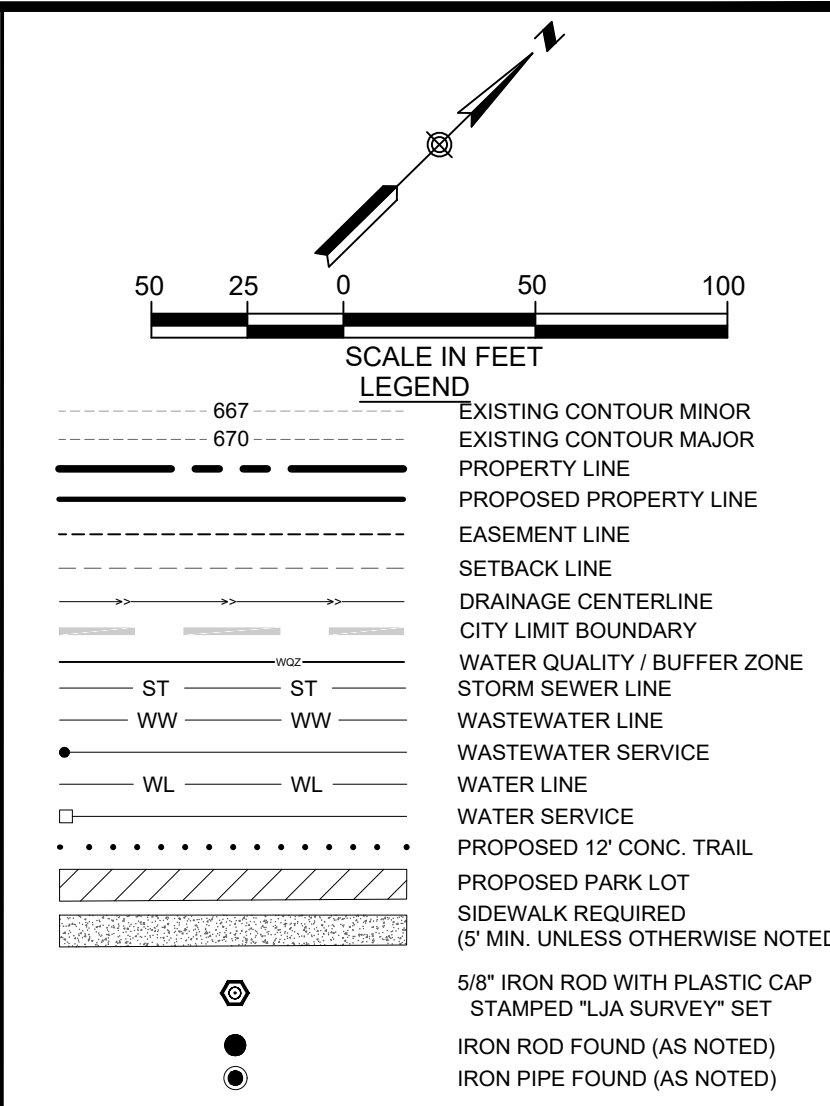
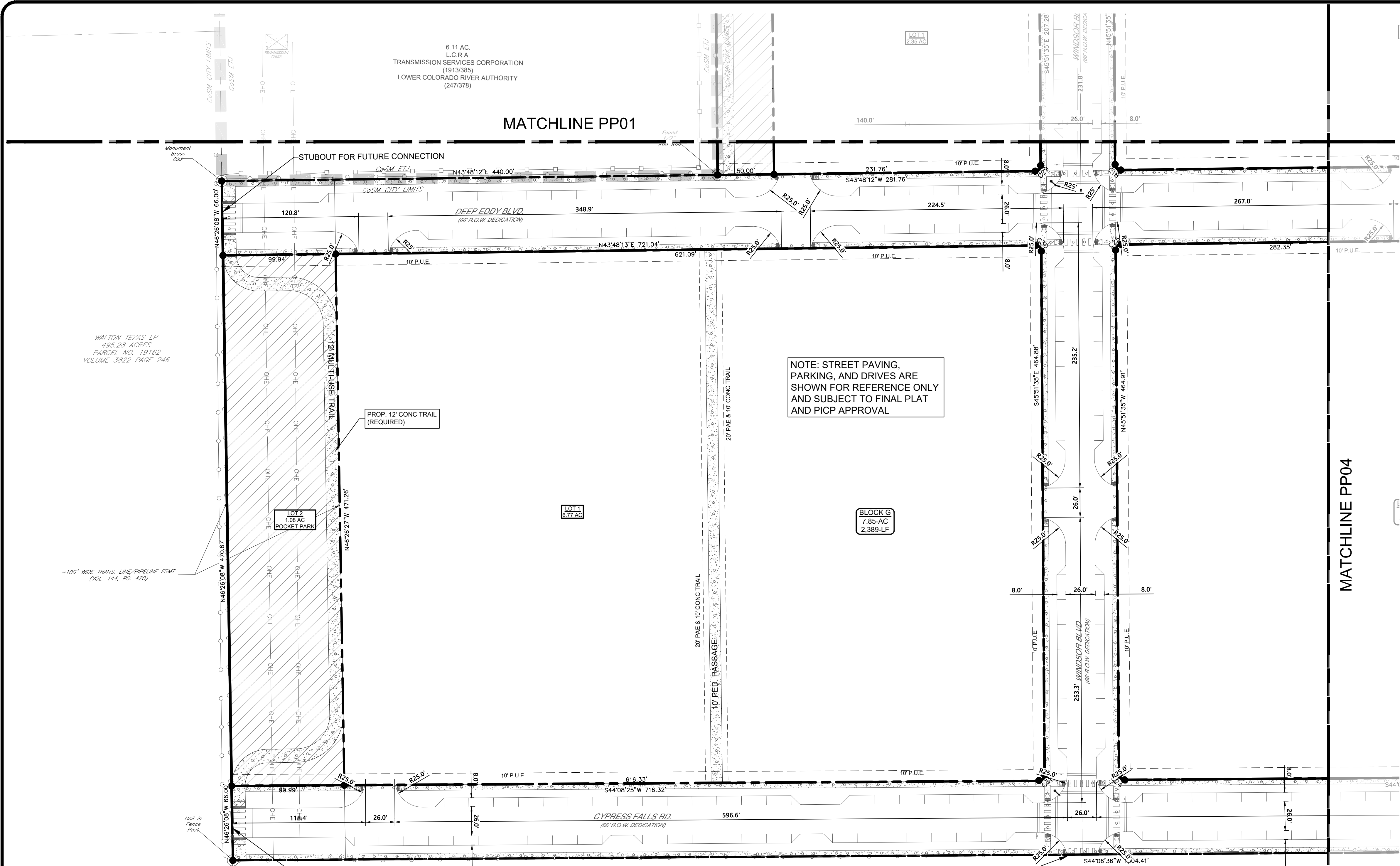
DATE: 6/16/2023
 DESIGNED BY: RJS
 DRAWN BY: RJS
 CHECKED BY: CRH
 DRAWING NAME: 2023-06-16-PP02.DWG

PROJECT SUMMARY
 SUBDIVISION: THE WATERS - SAN MARCOS (PP01, PP02, PP03, PP04)
 NO. OF LOTS: 4
 AREA: 40.72 AC
 ZONING: CD-5
 SURVEY / ABSTRACT: SEE SURVEY ABSTRACT

6/27/2023
 STATE OF TEXAS
 CHARLES R. HASTER
 12703
 LICENSED PROFESSIONAL ENGINEER
 American Ventures

LJA Engineering, Inc.
 Phone 512.439.4700
 Fax 512.439.4716
 7500 Realto Boulevard
 Building II, Suite 100
 Austin, Texas 78735

JOB NUMBER: A634-0401
 SHEET NO. 04 OF 10 SHEETS



BEARING BASIS:
 ALL BEARING BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4200). ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.00013.
 ALL COORDINATES GIVEN ARE SURFACE VALUES, UNLESS OTHERWISE NOTED.
 OBSERVATIONS WERE COLLECTED USING ALTERA VRS NETWORK.

UTILITY NOTE:
 THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY) ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.

LEGAL DESCRIPTION:
 40.72 ACRES OF LAND, MORE OR LESS, LYING IN THE CYRUS WICKSON SURVEY, ABSTRACT NO. 474, HAYS COUNTY, TEXAS, A PORTION OF THE PROPERTY CONVEYED TO EDMUND JASTER HAYS COUNTY PARTNERSHIP, IN VOLUME 1276, PAGE 880 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

BUILDING / PARKING SETBACK SUMMARY

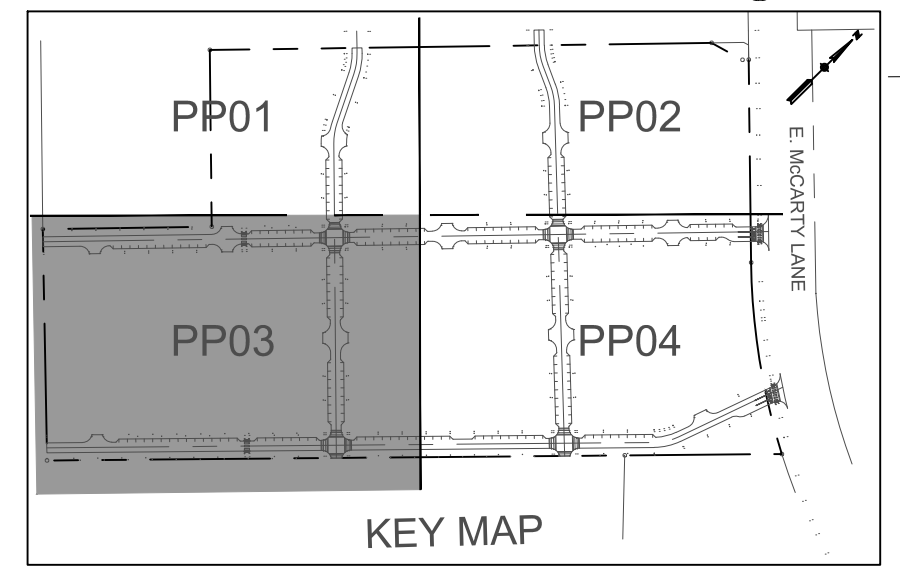
CD-5 ZONED LOT	0' MIN. - 12' MAX.
PRIMARY STREET	0' MIN. - 12' MAX.
SECONDARY STREET	0' MIN.
SIDE	0' MIN.
REAR	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST 2ND LAYER)

ROW IMPROVEMENTS NOTE:
 1. ALL PROPOSED STREET, PARKING, DRIVEWAY, AND SIDEWALKS SHOWN WITHIN PROPOSED ROW AREAS HEREON ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO P.C.I.P. EVALUATION, REVIEW, AND APPROVAL. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN THE FINAL DESIGN.

NOTE: STREET PAVING, PARKING, AND DRIVES ARE SHOWN FOR REFERENCE ONLY AND SUBJECT TO FINAL PLAT AND P.C.I.P. APPROVAL

WALTON TEXAS LP
 495.28 ACRES
 PARCEL NO. 19162
 VOLUME 3522 PAGE 246

25' D.E. (DOC. NO.) CALLED 60,435 AC.
 JULIAN PEREZ & MARTINA CURA LP
 DOC. NO. 90019093
 VOL. 3693, PG. 591
 O.P.R.H.C.T.X.



- GENERAL NOTES:**
- A WATERSHED PROTECTION PLAN (PHASE II), SITE PREPARATION PERMIT, & A PUBLIC IMPROVEMENTS CONSTRUCTION PLAN MUST BE ISSUED BY THE CITY OF SAN MARCOS PRIOR TO CONSTRUCTION OF THIS PROPOSED SUBDIVISION.
 - THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF SAN MARCOS REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT.
 - ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT THE OWNERS EXPENSE.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF SAN MARCOS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. SAN MARCOS ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE CITY OF SAN MARCOS RIVER BANK / CORRIDOR.
 - THIS PLAT IS LOCATED ENTIRELY WITHIN THE FULL-PURPOSE JURISDICTION OF THE CITY OF SAN MARCOS.
 - THIS PLAT IS LOCATED WITHIN THE CITY OF SAN MARCOS FIRE DEPARTMENT JURISDICTION.
 - THIS SUBDIVISION IS ZONED CD-5 (40.72-AC PER ORDINANCE 2022-57).
 - THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN MARCOS FIRE DEPARTMENT, OR ITS SUCCESSORS.
 - PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
 - A 50' WATER QUALITY AND BUFFER ZONE EXISTS ON-SITE NEAR EXISTING MCCARTY LANE CULVERTS.
 - OWNER SHALL DESIGNATE A PROPERTY MANAGEMENT COMPANY THAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION POND, (LOCATED WITHIN LOT 3, BLOCK A). THE PROPERTY MANAGEMENT COMPANY SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARK LOTS.
 - THERE ARE NO WETLANDS OR SENSITIVE FEATURE PROTECTION ZONES LOCATED WITHIN THE BOUNDARY OF THE PROJECT, AS DISCUSSED IN THE PHASE I ESA PREPARED BY HORIZON ENVIRONMENTAL SERVICES, INC. DATED MARCH 10, 2021.

- THERE ARE NO NATURAL SLOPES GREATER THAN 15% WITHIN THE PROJECT BOUNDARY.
- NO PORTION OF THE PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN PER FEMA MAP NO. 48209C0479F DATED SEPTEMBER 2, 2005.
- ALL STREETS SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS AND APPROVED BY THE CITY OF SAN MARCOS, AND UPON ACCEPTANCE SHALL BE DEDICATED TO THE CITY FOR MAINTENANCE.
- SIDEWALKS TO BE REQUIRED IN ACCORDANCE WITH SAN MARCOS SPECIFICATIONS.
- DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SAN MARCOS REQUIREMENTS OR AS APPROVED BY THE CITY OF SAN MARCOS.
- ALL CULVERTS, WHEN REQUIRED, SHALL COMPLY WITH THE CURRENT CITY OF SAN MARCOS STANDARDS.
- THE SIDEWALKS FOR THIS SUBDIVISION ARE REQUIRED AND SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF SAN MARCOS REQUIREMENTS. SIDEWALKS SHALL BE MAINTAINED BY A PROPERTY MANAGEMENT COMPANY AND ARE REQUIRED ON BOTH SIDES OF PROPOSED STREETS.
- IN APPROVING THIS PLAT, IT IS UNDERSTOOD THAT THE CONSTRUCTION OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES, OR IN CONNECTION THEREWITH SHALL BE THE RESPONSIBILITY OF THE OWNER AND / OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT, IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF SAN MARCOS. THE CITY OF SAN MARCOS ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR CONSTRUCTION OF ANY CULVERTS IN CONNECTION THEREWITH.
- DRAINAGE CALCULATIONS, DETENTION POND IMPROVEMENTS, AND OTHER DRAINAGE FACILITIES SHOWN HEREIN ARE FOR PLANNING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION PURPOSES. FINAL CONSTRUCTION PLANS FOR THESE IMPROVEMENTS SHALL BE PREPARED, SUBMITTED, AND APPROVED UNDER SEPARATE COVER.
- WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF SAN MARCOS.
- ELECTRIC SERVICE SHALL BE SUPPLIED BY BLUEBONNET ELECTRIC COOPERATIVE.
- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERPOINT GAS SERVICE.
- POST DEVELOPED RUN-OFF RATE SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES PER CITY OF SAN MARCOS REGULATIONS. PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS SHALL BE INCLUDED WITH FUTURE CONSTRUCTION DRAWINGS FOR THIS SITE.

ACCESS NOTES:

- PER THE TIA SUBMITTED WITH THIS PRELIMINARY PLAT (PREPARED BY KIMLEY HORN), A RIGHT TURN LANE SHALL BE INSTALLED PER TIA RECOMMENDATIONS, OR AS SHOWN HEREIN. CoSM PROJECT NO.: 2022-43975.
- PER CoSM COMPREHENSIVE PLAN REQUIREMENTS, A GREENWAY TRAIL IS REQUIRED AT THE TIME OF DEVELOPMENT. THE TRAIL SHALL BE INSTALLED 7' BEHIND THE MCCARTY LANE CURB/EDGE OF PAVEMENT, SHALL BE 12' WIDE (CONSTRUCTED OF ASPHALT OR CONCRETE), AND SHALL HAVE MINIMUM OF 13' FROM EDGE OF TRAIL TO EASEMENT OR R.O.W.
- UTILITY, STORM AND STREET LAYOUT SHOWN HEREIN SUBJECT TO CHANGE WITH FINAL DESIGN.
- PROPOSED STREET CONNECTIONS TO ADJACENT LOTS AT MCCARTY COMMONS REQUIRE APPROVAL FROM LRCA AND TWO ROW EASEMENTS PRIOR TO CONSTRUCTION.
- CONNECTIONS TO THE ADJACENT MCCARTY COMMONS AND MILLBROOK PARK SUBDIVISION TO THE NORTH WEST ARE REQUIRED BEFORE APPROVAL OF THE FINAL PLAT.

PARKLAND NOTE:

- PARKLAND DEDICATION AND A PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARK BOARD ON MAY 18TH 2023.
- ALL PARKS SHALL BE A MINIMUM OF 20' IN WIDTH AND DEDICATED WITH A PUBLIC ACCESS EASEMENT IN ACCORDANCE WITH SECTIONS 3.6.2.1.C.3 AND 3.7.2.6 OF THE CoSM LDC.

SIDEWALK / TRAIL NOTES:

- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL PROPOSED STREETS. A 12' GREENWAY TRAIL IS REQUIRED ALONG THE SUBDIVISION FRONTAGE WITH MCCARTY LANE MEETING CITY GREENWAY REQUIREMENTS.
- ALL PEDESTRIAN PASSAGES SHOWN HEREON REQUIRE A MINIMUM 20' PUBLIC ACCESS EASEMENT WITH 10' CONCRETE TRAIL.

Curve #	Length	Radius	Delta	Chord	Chord Bearing
CT	246.115	1728.000	8.165	245.81	S89°59'49.21E
CD	86.000	1728.000	2.289	86.000	S93°22'58.92E
CC	167.862	1728.000	2.240	167.862	S93°57'20.01E
CA	124.838	1728.000	4.128	124.838	S89°49'23.89E
CB	7.778	5.000	88.146	7.703	S88°22'31.36V
CT	83.800	103.000	18.847	83.54	N89°51'14.97V
CD	23.985	117.070	23.978	23.985	N89°59'51.97V
CB	2.880	5.000	96.856	2.712	N89°57'54.69V
CA	7.732	5.000	88.888	7.658	S88°51'14.26V
C11	51.961	117.000	24.982	51.961	S11°37'11.28V
C12	12.792	26.000	26.000	12.792	N44°17'24.74V
C13	78.718	103.000	24.987	78.718	N44°57'23.89E
C14	86.710	103.000	18.844	86.38	S89°59'55.37E
C15	82.001	107.000	18.847	81.81	S89°51'34.67E
C16	7.890	5.000	96.856	7.712	S89°57'54.69E
C17	42.693	107.000	18.249	42.45	N89°14'16.97V
C18	3.887	107.000	1.803	3.806	N27°31'57.61V
C19	63.694	103.000	18.249	63.694	N44°57'24.74V
C20	7.778	5.000	88.146	7.703	N89°57'20.01E
C21	7.885	5.000	91.160	7.714	S89°28'16.61E
C22	7.885	5.000	90.000	7.707	S89°57'54.69E
C23	7.885	5.000	89.800	7.698	N89°51'14.97V
C24	18.112	107.000	18.249	18.112	S44°57'24.74V
C25	12.792	107.000	3.393	12.792	S89°59'55.37E
C26	18.112	103.000	11.254	18.112	S44°14'56.61E
C27	7.885	5.000	89.800	7.698	S89°51'14.97V
C28	7.885	5.000	89.800	7.698	N89°51'14.97V
C29	7.885	5.000	90.000	7.707	S89°57'54.69E
C30	7.885	5.000	90.000	7.707	S89°57'54.69E

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



THE WATERS - SAN MARCOS PRELIMINARY PLAT

PRELIMINARY PLAT SHEET 03

E. MCCARTY LANE, SAN MARCOS, TEXAS 78666

DATE: 6/16/2023
 DESIGNED BY: RJS
 DRAWN BY: RJS
 CHECKED BY: CRH
 DRAWING NAME: 25514616.PDF

PROJECT SUMMARY
 SUBDIVISION: THE WATERS - SAN MARCOS (PHASE II)
 No. OF LOTS: 40
 AREA: 40.72 AC.
 ZONING: CD-5
 SURVEY / ABSTRACT: 19162, VOL. 3522, PAGE 246

6/27/2023
 STATE OF TEXAS
 CHARLES R. HAGER
 12703
 LICENSED PROFESSIONAL ENGINEER
 American Ventures

LJA Engineering, Inc.
 Phone 512.439.4700
 Fax 512.439.4716
 7500 Realto Boulevard
 Building II, Suite 100
 Austin, Texas 78735

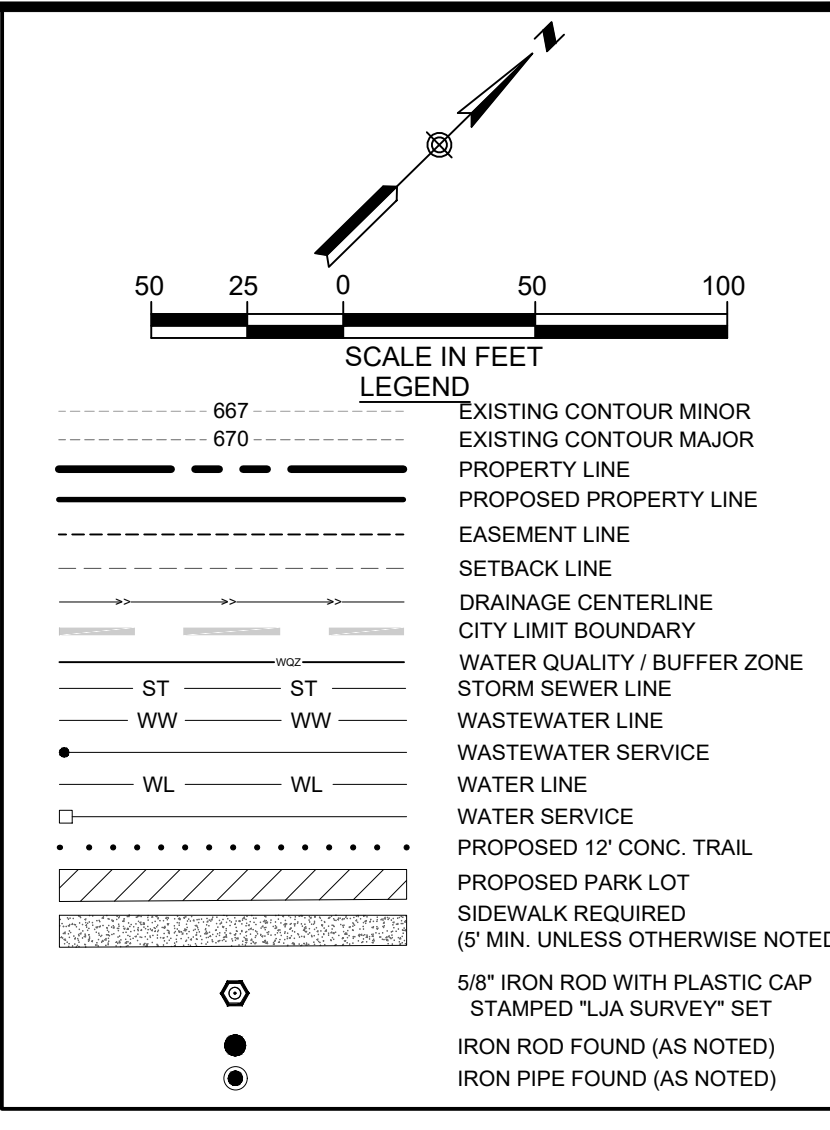
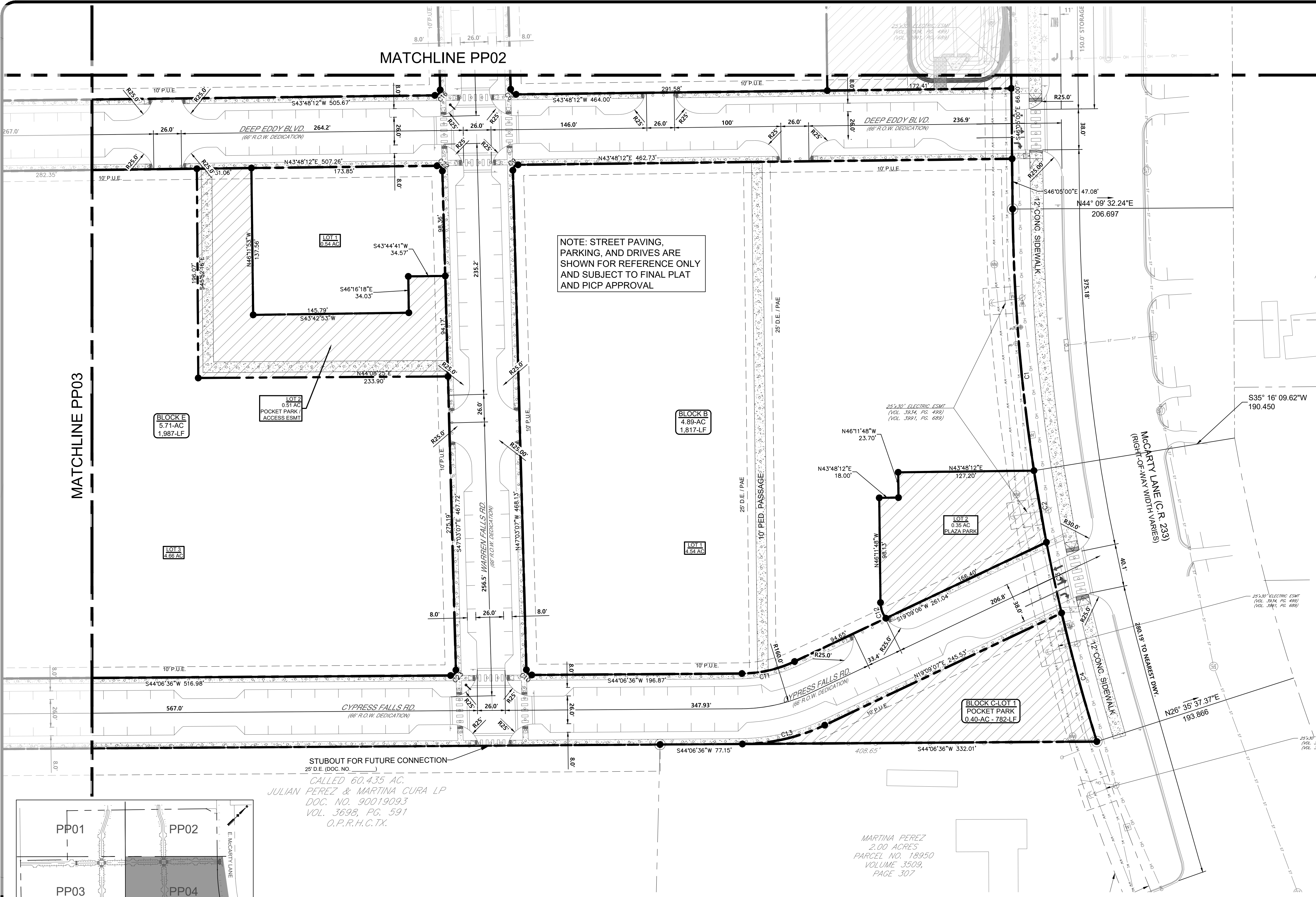
JOB NUMBER: A634-0401

PP03

SHEET NO. **05** OF 10 SHEETS

CITY OF SAN MARCOS PROJECT No. PC-23-11

I:\2024\American Ventures\25514616\Sheets\Pre\25514616-PP03.dwg
 User: bournefire
 Plot Date: 6/16/2023 11:34:33
 Plot Path: I:\2024\American Ventures\25514616\Sheets\Pre\25514616-PP03.dwg
 Plot Size: 11.00 x 17.00
 Plot Scale: 1:1
 Plot Orientation: Horizontal
 Plot Color: Black
 Plot Lineweight: 0.20
 Plot Linetype: Solid
 Plot Font: Arial, 10
 Plot Title: 25514616-PP03.dwg
 Plot Sheet: 05 of 10
 Plot Date: 6/16/2023 11:34:33



BEARING BASIS:
 ALL BEARING BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, GRID NORTH, SOUTH CENTRAL ZONE (4204), NAD83. ALL DISTANCES WERE ADJUSTED TO SURFACE USING A COMBINED SCALE FACTOR OF 1.00013.
 ALL COORDINATES GIVEN ARE SURFACE VALUES, UNLESS OTHERWISE NOTED.
 OBSERVATIONS WERE COLLECTED USING ALTERA VRS NETWORK

UTILITY NOTE:
 THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY) ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.

LEGAL DESCRIPTION:
 40.72 ACRES OF LAND, MORE OR LESS, LYING IN THE CYRUS WICKSON SURVEY, ABSTRACT NO. 474, HAYS COUNTY, TEXAS. A PORTION OF THE PROPERTY CONVEYED TO EDMUND JASTER HAYS COUNTY PARTNERSHIP, IN VOLUME 1276, PAGE 880 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.

BUILDING / PARKING SETBACK SUMMARY

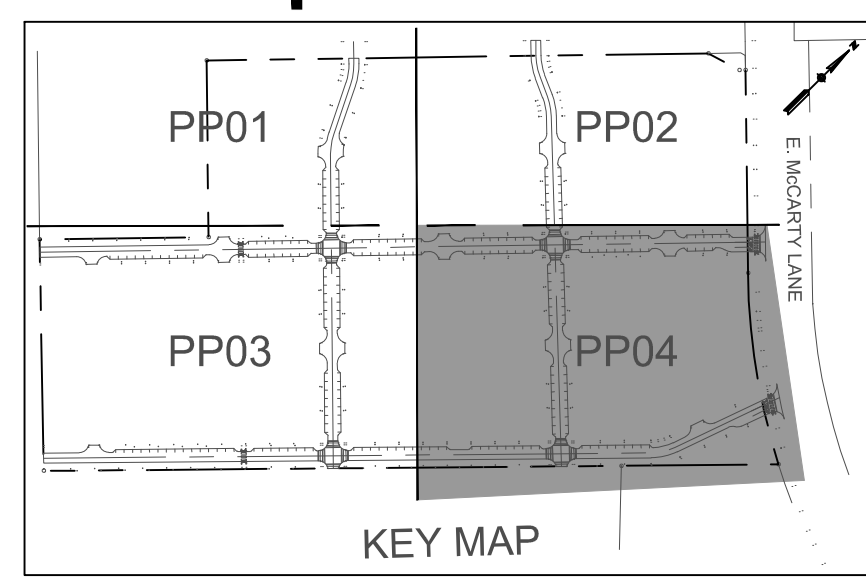
CD-5 ZONED LOT	0' MIN. - 12' MAX.
PRIMARY STREET	0' MIN. - 12' MAX.
SECONDARY STREET	0' MIN.
SIDE	0' MIN.
REAR	0' MIN.
REAR, ABUTTING ALLEY	3' MIN.
PARKING	20' (ALLOWED PAST 2ND LAYER)

ROW IMPROVEMENTS NOTE:
 1. ALL PROPOSED STREET, PARKING, DRIVEWAY, AND SIDEWALKS SHOWN WITHIN PROPOSED ROW AREAS HEREON ARE SHOWN FOR REFERENCE ONLY AND ARE SUBJECT TO PICP EVALUATION, REVIEW, AND APPROVAL. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN THE FINAL DESIGN.

NOTE: STREET PAVING, PARKING, AND DRIVES ARE SHOWN FOR REFERENCE ONLY AND SUBJECT TO FINAL PLAT AND PICP APPROVAL

STUBOUT FOR FUTURE CONNECTION
 25' D.E. (DOC. NO. _____)
 CALLED 60.435 AC.
 JULIAN PEREZ & MARTINA CURA LP
 DOC. NO. 90019093
 VOL. 3698, PG. 591
 O.P.R.H.C.T.X.

MARTINA PEREZ
 2.00 ACRES
 PARCEL NO. 18950
 VOLUME 3509,
 PAGE 307



- GENERAL NOTES:**
- A WATERSHED PROTECTION PLAN (PHASE II), SITE PREPARATION PERMIT, & A PUBLIC IMPROVEMENTS CONSTRUCTION PLAN MUST BE ISSUED BY THE CITY OF SAN MARCOS PRIOR TO CONSTRUCTION OF THIS PROPOSED SUBDIVISION.
 - THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF SAN MARCOS REQUIREMENTS APPLICABLE TO THIS DEVELOPMENT.
 - ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT THE OWNERS EXPENSE.
 - THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF SAN MARCOS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. SAN MARCOS ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE CITY OF SAN MARCOS RIVER BANK / CORRIDOR.
 - THIS PLAT IS LOCATED ENTIRELY WITHIN THE FULL-PURPOSE JURISDICTION OF THE CITY OF SAN MARCOS.
 - THIS PLAT IS LOCATED WITHIN THE CITY OF SAN MARCOS FIRE DEPARTMENT JURISDICTION.
 - THIS SUBDIVISION IS ZONED CD-5 (40.72 AC PER ACRE 2022-57).
 - THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN MARCOS FIRE DEPARTMENT, OR ITS SUCCESSORS.
 - PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
 - A 50' WATER QUALITY AND BUFFER ZONE EXISTS ON-SITE NEAR EXISTING MCCARTY LANE CULVERTS.
 - OWNER SHALL DESIGNATE A PROPERTY MANAGEMENT COMPANY THAT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION POND. (LOCATED WITHIN LOT 3, BLOCK A). THE PROPERTY MANAGEMENT COMPANY SHALL BE RESPONSIBLE FOR MAINTAINING ALL PARK LOTS.
 - THERE ARE NO WETLANDS OR SENSITIVE FEATURE PROTECTION ZONES LOCATED WITHIN THE BOUNDARY OF THE PROJECT, AS DISCUSSED IN THE PHASE I ESA PREPARED BY HORIZON ENVIRONMENTAL SERVICES, INC. DATED MARCH 10, 2021.

- THERE ARE NO NATURAL SLOPES GREATER THAN 15% WITHIN THE PROJECT BOUNDARY.
- NO PORTION OF THE PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN PER FEMA MAP NO. 48209C0479F DATED SEPTEMBER 2, 2005.
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- IN APPROVING THIS PLAT, IT IS UNDERSTOOD THAT THE CONSTRUCTION OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES DELINEATED AND SHOWN ON THIS PLAT, AND ALL CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES, OR IN CONNECTION THEREWITH SHALL BE THE RESPONSIBILITY OF THE OWNER AND / OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT, IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF SAN MARCOS. THE CITY OF SAN MARCOS ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR CONSTRUCTION OF ANY CULVERTS IN CONNECTION THEREWITH.
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- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERPOINT GAS SERVICE.
- POST DEVELOPED RUN-OFF RATE SHALL BE LESS THAN OR EQUAL TO THE PRE-DEVELOPED CONDITION RUNOFF RATES PER CITY OF SAN MARCOS REGULATIONS. PRE AND POST DEVELOPMENT RUN-OFF CALCULATIONS SHALL BE INCLUDED WITH FUTURE CONSTRUCTION DRAWINGS FOR THIS SITE.

- ACCESS NOTES:**
- PER THE TIA SUBMITTED WITH THIS PRELIMINARY PLAT (PREPARED BY KIMLEY HORN), A RIGHT TURN LANE SHALL BE INSTALLED PER TIA RECOMMENDATIONS, OR AS SHOWN HEREIN. CoSM PROJECT NO.: 2022-43975
 - PER CoSM COMPREHENSIVE PLAN REQUIREMENTS, A GREENWAY TRAIL IS REQUIRED AT THE TIME OF DEVELOPMENT. THE TRAIL SHALL BE INSTALLED 7' BEHIND THE MCCARTY LANE CURBEDGE OF PAVEMENT. SHALL BE 12' WIDE (CONSTRUCTED OF ASPHALT OR CONCRETE), AND SHALL HAVE MINIMUM OF 3' FROM EDGE OF TRAIL TO EASEMENT OR R.O.W.
 - UTILITY, STORM AND STREET LAYOUT SHOWN HEREIN SUBJECT TO CHANGE WITH FINAL DESIGN.
 - PROPOSED STREET CONNECTIONS TO ADJACENT LOTS AT MCCARTY COMMONS REQUIRE APPROVAL FROM LRCA AND TWO ROW EASEMENTS PRIOR TO CONSTRUCTION
 - CONNECTIONS TO THE ADJACENT MCCARTY COMMONS AND MILLBROOK PARK SUBDIVISION TO THE NORTH WEST ARE REQUIRED BEFORE APPROVAL OF THE FINAL PLAT
- PARKLAND NOTE:**
- PARKLAND DEDICATION AND A PARTIAL FEE IN LIEU HAVE BEEN APPROVED BY THE CoSM PARK BOARD ON MAY 18TH 2023.
 - ALL PARKS SHALL BE A MINIMUM OF 20' IN WIDTH AND DEDICATED WITH A PUBLIC ACCESS EASEMENT IN ACCORDANCE WITH SECTIONS 3.6.2.1.C.3 AND 3.7.2.6 OF THE CoSM LDC.
- SIDEWALK / TRAIL NOTES:**
- SIDEWALKS ARE REQUIRED ALONG BOTH SIDES OF ALL PROPOSED STREETS. A 12' GREENWAY TRAIL IS REQUIRED ALONG THE SUBDIVISION FRONTAGE WITH MCCARTY LANE MEETING CITY GREENWAY REQUIREMENTS.
 - ALL PEDESTRIAN PASSAGES SHOWN HEREON REQUIRE A MINIMUM 20' PUBLIC ACCESS EASEMENT WITH 10' CONCRETE TRAIL.

Curve #	Length	Radius	Delta	Chord	Chord Elevation
C1	246.15	1728.00	8.165	245.51	591'04.26'E
C2	86.00	1728.00	3.269	86.00	591'22.58'E
C3	87.88	1728.00	3.248	87.88	591'27.024'E
C4	124.88	1728.00	4.148	124.88	591'47.328'E
C5	7.778	5.000	86.146	7.70	588'22.326'N
C7	83.800	103.500	18.847	83.54	589'31.67'N
C8	43.980	117.070	23.878	43.98	589'52.19'N
C9	7.880	5.000	96.856	7.72	591'27.024'N
C10	7.730	5.000	88.888	7.60	588'31.67'N
C11	52.960	117.000	24.882	52.96	591'37.126'N
C12	12.970	25.000	162.796	12.970	588'17.242'N
C13	78.710	103.500	24.967	78.710	591'27.024'N
C14	86.710	103.500	18.804	86.38	591'05.53'E
C15	42.000	107.000	18.847	41.81	591'31.67'E
C16	7.820	5.000	96.856	7.72	591'27.024'N
C17	7.880	5.000	96.856	7.72	591'27.024'N
C18	42.630	107.000	19.248	42.45	591'14.15'N
C19	3.887	107.000	1.833	3.86	592'31.67'N
C21	49.894	103.500	162.796	49.894	588'17.242'N
C22	7.978	5.000	86.146	7.90	588'22.326'N
C23	7.880	5.000	91.160	7.74	591'28.164'N
C24	7.880	5.000	90.000	7.81	589'31.67'N
C25	7.820	5.000	89.880	7.88	591'04.14'N
C26	36.12	103.500	16.899	36.08	591'27.024'N
C27	7.278	107.000	3.939	7.28	591'15.41'N
C28	7.880	100.000	11.254	7.81	591'15.41'N
C29	7.820	5.000	89.880	7.88	591'04.14'N
C30	7.880	5.000	90.000	7.81	591'15.41'N
C31	7.884	5.000	90.000	7.87	591'15.41'N

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
 Know what's below.
 Call before you dig.

THE WATERS - SAN MARCOS PRELIMINARY PLAT

PRELIMINARY PLAT SHEET 04

E. MCCARTY LANE, SAN MARCOS, TEXAS 78666

DATE: 6/16/2023
 DESIGNED BY: RJS
 DRAWN BY: RJS
 CHECKED BY: CRH
 DRAWING NAME: 255-04-02-PP02.DWG

PROJECT SUMMARY

SUBDIVISION: THE WATERS - SAN MARCOS (PP01-PP04)
 NO. OF LOTS: 12
 AREA: 40.72 AC.
 ZONING: CD-5
 SURVEY / ABSTRACT: 255-04-02-PP02.DWG

6/27/2023
 STATE OF TEXAS
 CHARLES R. HAGER
 12703
 LICENSED PROFESSIONAL ENGINEER
 American Ventures

LJA Engineering, Inc.
 7500 Realto Boulevard
 Building II, Suite 100
 Austin, Texas 78737

PHONE: 512.439.4700
 FAX: 512.439.4716
 FRN-LF-1386

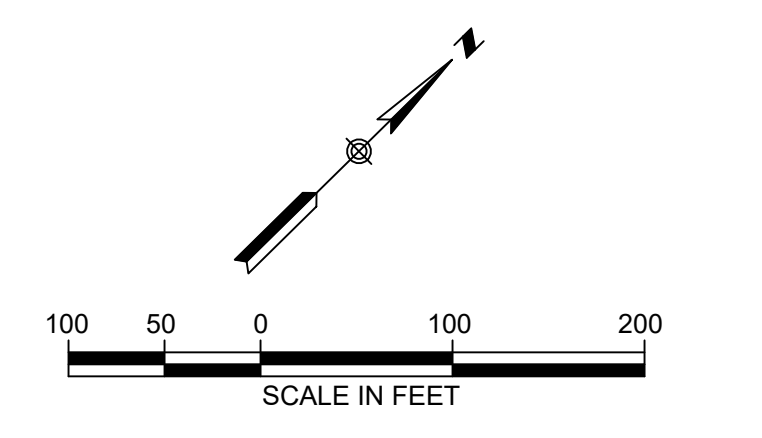
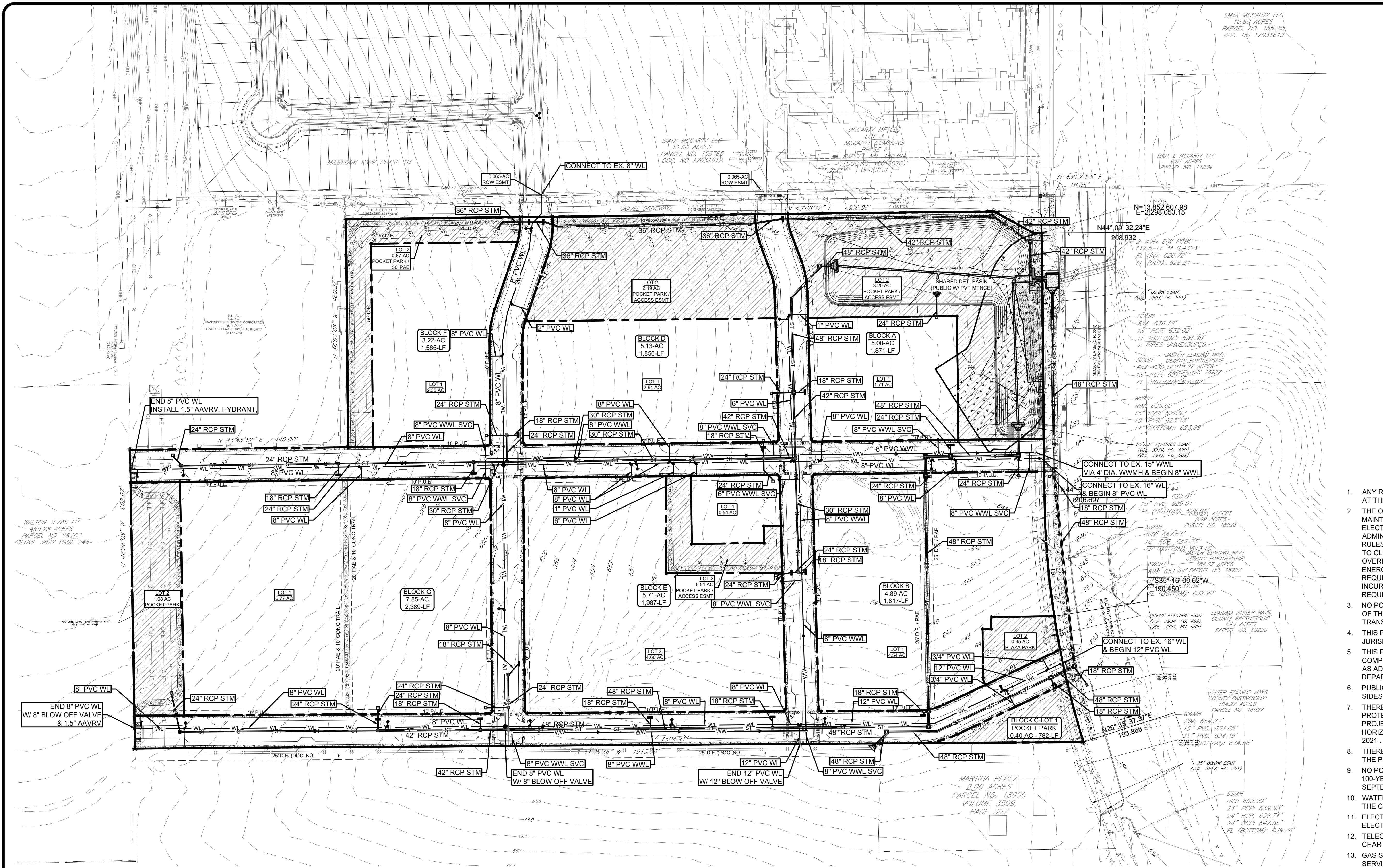
JOB NUMBER: A634-0401

PP04

SHEET NO. **06** OF 10 SHEETS

CITY OF SAN MARCOS PROJECT No. PC-23-11

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 Plot Time: 6/16/2023 14:27:05



LEGEND

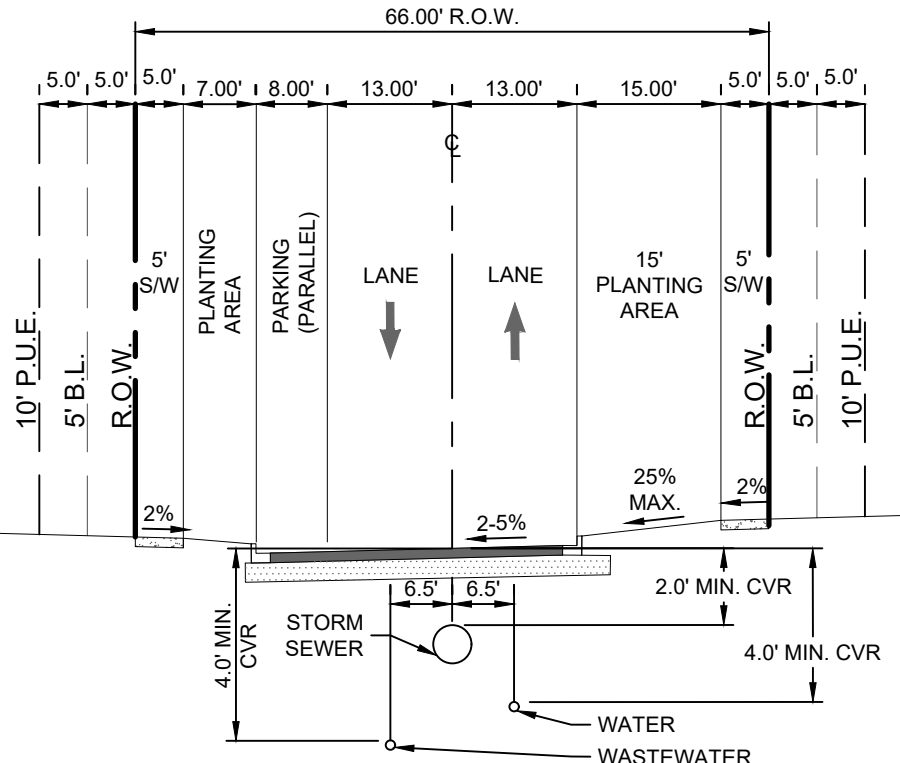
PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY LINE
---	---	STREET CENTERLINE
---	---	CONTOUR LINE
---	---	CONCRETE SIDEWALK
---	---	SIDEWALK RAMP
---	---	CROSSWALK
ST	ST	STORM SEWER LINE
WW	WW	WASTEWATER LINE
WL	WL	WASTEWATER SERVICE
---	---	WATER LINE
---	---	WATER SERVICE CHANNEL/SWALE
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	WASTEWATER MANHOLE
---	---	STORMSEWER MANHOLE
---	---	CURB INLET
---	---	GRATE INLET
---	---	100' WATER QUALITY ZONE
---	---	50' WATER QUALITY BUFFER ZONE
---	---	PROPOSED WATER LINE WIRE HYDRANT UNIT
---	---	A. LINE SIZE X 6" TEE
---	---	B. 6" GATE VALVE AND BOX
---	---	C. FIRE HYDRANT
---	---	2" BLOW-OFF ASSEMBLY W/FLUG AND CLAMP

GENERAL NOTES

- ANY RELOCATION OF EXISTING ELECTRIC FACILITIES SHALL BE AT THE OWNERS EXPENSE.
- THE OWNER OF THE PROPERTY IS RESPONSIBLE FOR MAINTAINING CLEARANCES REQUIRED BY THE NATIONAL ELECTRIC SAFETY CODE, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, CITY OF SAN MARCOS RULES AND REGULATIONS AND TEXAS STATE LAWS PERTAINING TO CLEARANCES WHEN WORKING IN CLOSE PROXIMITY TO OVERHEAD POWER LINES AND EQUIPMENT. SAN MARCOS ENERGY WILL NOT RENDER ELECTRIC SERVICE UNLESS REQUIRED CLEARANCES ARE MAINTAINED. ALL COSTS INCURRED BECAUSE OF FAILURE TO COMPLY WITH THE REQUIRED CLEARANCES WILL BE CHARGED TO THE OWNER.
- NO PORTION OF THIS PROJECT LIES WITHIN THE BOUNDARIES OF THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
- THIS PLAT IS LOCATED ENTIRELY WITHIN THE FULL-PURPOSE JURISDICTION OF THE CITY OF SAN MARCOS.
- THIS PLAT AND SUBSEQUENT SITE DEVELOPMENT PLANS SHALL COMPLY WITH THE MOST CURRENT INTERNATIONAL FIRE CODE AS ADOPTED AND AMENDED BY THE CITY OF SAN MARCOS FIRE DEPARTMENT, OR ITS SUCCESSORS.
- PUBLIC UTILITY EASEMENT OF 10' SHALL BE LOCATED ON BOTH SIDES OF DEDICATED RIGHT-OF-WAYS.
- THERE ARE NO WETLANDS OR SENSITIVE FEATURE PROTECTION ZONES LOCATED WITHIN THE BOUNDARY OF THE PROJECT, AS DISCUSSED IN THE PHASE 1 ESA PREPARED BY HORIZON ENVIRONMENTAL SERVICES, INC. DATED MARCH 10, 2021.
- THERE ARE NO NATURAL SLOPES GREATER THAN 15% WITHIN THE PROJECT BOUNDARY.
- NO PORTION OF THE PROJECT IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN PER FEMA MAP NO. 48209C0479F DATED SEPTEMBER 2, 2005.
- WATER AND WASTEWATER SERVICE SHALL BE PROVIDED BY THE CITY OF SAN MARCOS.
- ELECTRIC SERVICE SHALL BE SUPPLIED BY BLUEBONNET ELECTRIC COOP.
- TELECOMMUNICATION SERVICE SHALL BE PROVIDED BY CHARTER SPECTRUM.
- GAS SERVICE SHALL BE SUPPLIED BY CENTERPOINT GAS SERVICE.
- LAYOUTS SHOWN HEREON IS PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL DESIGN.

UTILITY NOTE:

THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED (UTILITIES SHOWN HEREON MAY BE EXAGGERATED FOR GRAPHIC REPRESENTATION ONLY) ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ONLY THE VISIBLE ABOVE GROUND UTILITY STRUCTURES.



PROPOSED TYPICAL LOCAL STREET UTILITY ASSIGNMENTS
(N.T.S.)

NOTE: FINAL UTILITY ASSIGNMENTS AND SERVICE DETAILS WILL BE EVALUATED DURING PICP REVIEW. THE UTILITIES SHOWN HEREON DO NOT GOVERN FINAL DESIGN OR LAYOUTS.

40-ac McCarty Lane - CD-5 - The Waters San Marcos Subdivision

Water / Wastewater Demand Summary

Description	Units	Units Per LUE	Land Use	LUE's	Developed Area (AC)
Block A - Multifamily	57	0.66	Apartment	37.6	1.77
Block B - Retail	10,000	1,660.00	Retail	6.0	
Block B - Restaurant	2,000	200.00	Restaurant	10.0	4.54
Block B - Multifamily	161	0.66	Apartment	106.3	
Block D - Multifamily	111	0.66	Apartment	73.3	2.94
Block F - Multifamily	174	0.66	Apartment	114.8	5.20
Block G - Multifamily	96	0.66	Apartment	63.4	2.33
Block G - Multifamily	240	0.66	Apartment	158.4	6.77
Future Mixed-Use Lot 1	213	0.66	Apartment	140.8	10.67
Future Mixed-Use Lot 2	134	0.66	Apartment	88.6	6.71
TOTAL				799	40.93

Wastewater Flow Calculation

Average Dry Weather Flow
 $Q = 245 \text{ GPD} \cdot \text{LUE} = 195,798.7 \text{ GPD}$
 $Q = 0.170 \text{ GPM} \cdot \text{LUE} = 136.0 \text{ GPM}$

Peak Dry Weather
 $Q = ((18 + (0.0206 \cdot F)^{0.5}) / 4) \cdot (0.0206 \cdot F)^{0.5} \cdot F = 471.6 \text{ GPM}$

Inflow/Infiltration
 $Q = \text{AREA} \cdot 750 \text{ GPD}/1440 = 119.19 \text{ acres} \cdot 0.5208 = 21.3 \text{ GPM}$

Peak Wet Weather
 Peak Dry Weather + Inflow/Infiltration = **492.9 GPM**

Water Flow Calculation

Peak Hour
 $Q = 2.2 \text{ GPM} \cdot \text{LUE} = 1,253.5 \text{ GPM}$

Peak Day
 $Q = 1.3 \text{ GPM} \cdot \text{LUE} = 740.7 \text{ GPM}$

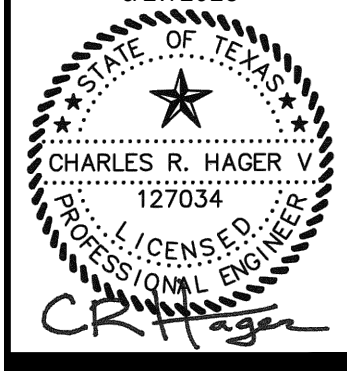
LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



THE WATERS - SAN MARCOS
PRELIMINARY PLAT
DRAINAGE & UTILITY PLAN
E. MCCARTY LANE, SAN MARCOS, TEXAS 78666

REVISIONS

NO.	DESCRIPTION	DATE	DESIGNED BY:	DRAWN BY:	CHECKED BY:	DRAWING NAME:
1		6/16/2023	RJS	RJS	CRH	DRAINAGE & UTILITY PLAN



American Ventures

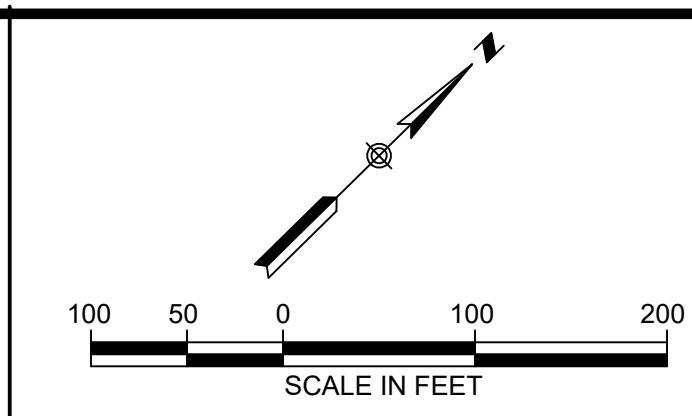
LJA Engineering, Inc.
 7500 Riata Boulevard
 Building II, Suite 100
 Austin, Texas 78735
 Phone 512.439.4700
 Fax 512.439.4716
 FRNF-1386

JOB NUMBER:
A634-041

UT01

SHEET NO.
07

OF 10 SHEETS



LEGEND

--- (dashed line)	PHASE LINE
--- (dotted line)	EXISTING CONTOUR MINOR
--- (solid line)	EXISTING CONTOUR MAJOR
--- (dash-dot line)	PROPERTY LINE
--- (long-dashed line)	PROPOSED PROPERTY LINE
--- (short-dashed line)	EASEMENT LINE
--- (dash-dot-dot line)	SETBACK LINE
--- (line with diagonal hatching)	DRAINAGE CENTERLINE
--- (line with cross-hatching)	PARKLAND LOT
--- (line with wavy hatching)	WATER QUALITY / BUFFER ZONE
--- (line with 'S' hatching)	STORM SEWER LINE
--- (line with 'W' hatching)	WASTEWATER LINE
--- (line with 'WL' hatching)	WASTEWATER SERVICE
--- (line with 'W' hatching)	WATER LINE
--- (line with 'WS' hatching)	WATER SERVICE

PHASE 1 SITE AREA (5.04-AC)	
PHASE 2 SITE AREA (20.99-AC)	
PHASE 3 SITE AREA (14.69-AC)	

NOTE: FINAL UTILITY ASSIGNMENTS, SERVICE DETAILS, AND OTHER PUBLIC IMPROVEMENTS WILL BE EVALUATED DURING PICP REVIEW. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN FINAL DESIGN OR LAYOUTS.

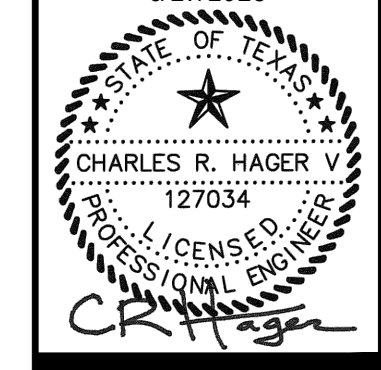
THE WATERS - SAN MARCOS
PRELIMINARY PLAT
PHASING PLAN - PHASE 1
E. MCCARTY LANE, SAN MARCOS, TEXAS 78666

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT SUMMARY

DATE:	8/16/2023
DESIGNED BY:	PLS
DRAWN BY:	ELJS
CHECKED BY:	CRH
DRAWING NAME:	JAS5656E.PDF

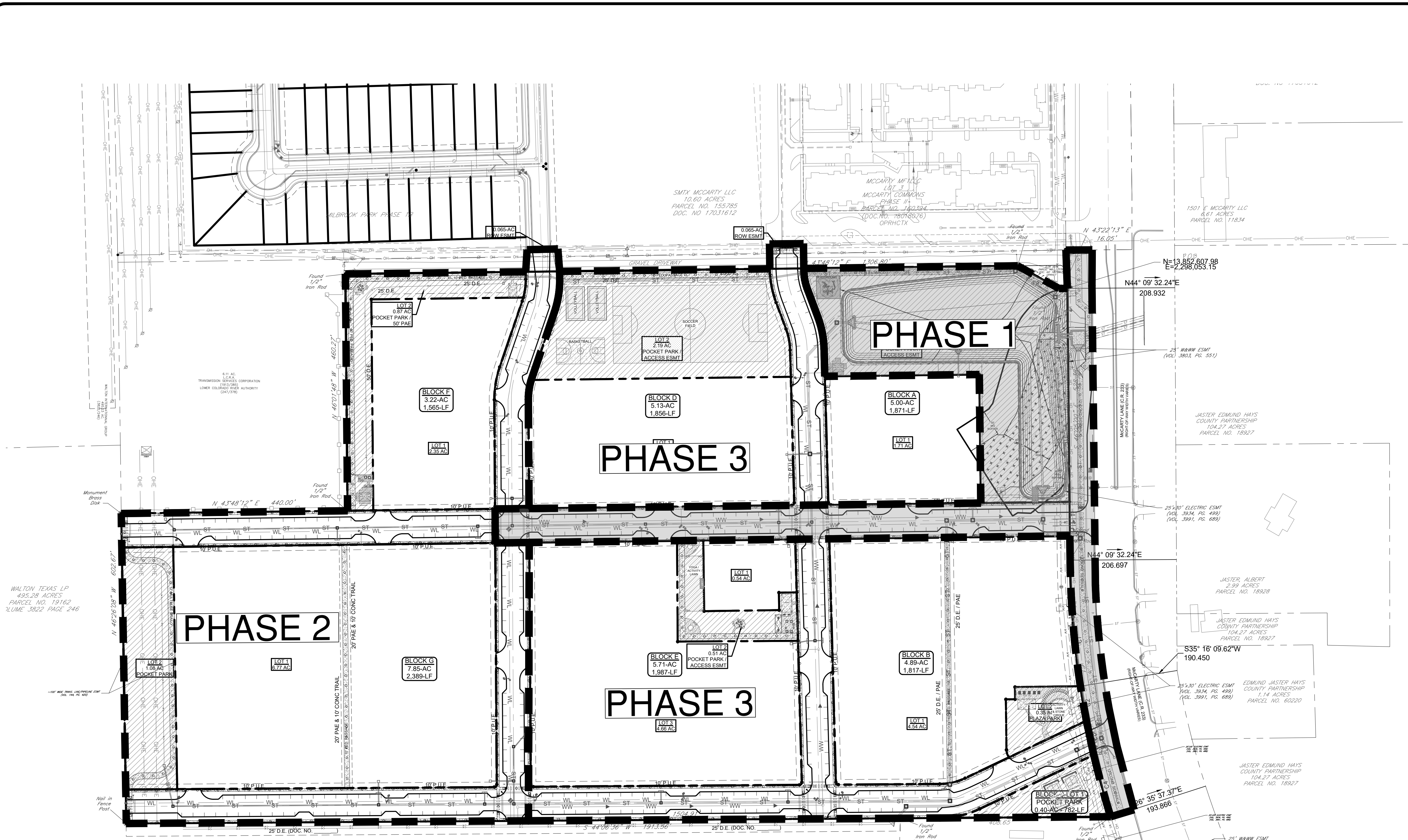


American Ventures
Phone 512.439.4700
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FRN-F-1386

LJA Engineering, Inc.
7500 Riata Boulevard
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Austin, Texas 78735

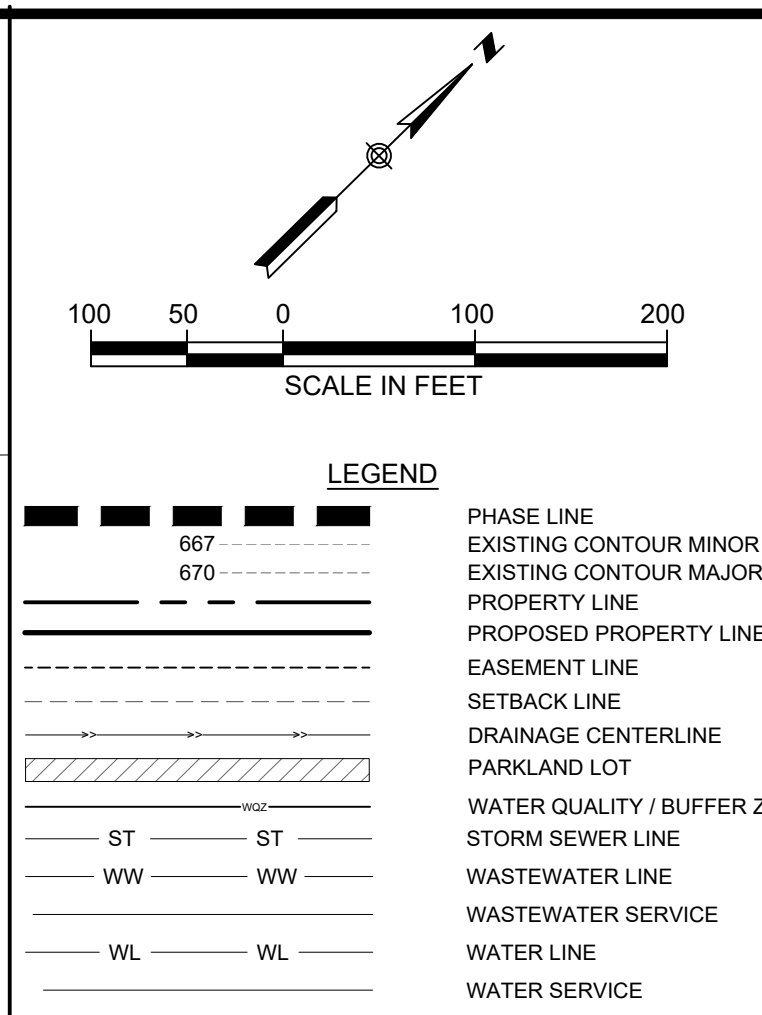
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PH01
SHEET NO. 08 OF 10 SHEETS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



TRACT 1
59.826 ACRES
2,606,020 SQ. FT.

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LEGEND

	PHASE LINE
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPERTY LINE
	PROPOSED PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	DRAINAGE CENTERLINE
	PARKLAND LOT
	WATER QUALITY / BUFFER ZONE
	STORM SEWER LINE
	WASTEWATER LINE
	WASTEWATER SERVICE
	WATER LINE
	WATER SERVICE

- PHASE 1 SITE AREA (5.04-AC)
- PHASE 2 SITE AREA (20.99-AC)
- PHASE 3 SITE AREA (14.69-AC)

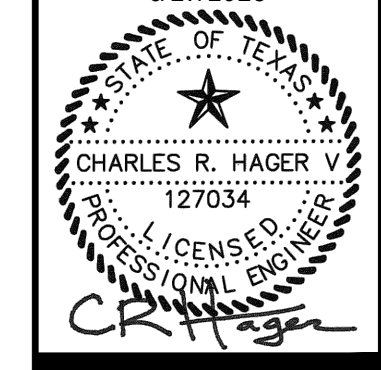
NOTE: FINAL UTILITY ASSIGNMENTS, SERVICE DETAILS, AND OTHER PUBLIC IMPROVEMENTS WILL BE EVALUATED DURING PICP REVIEW. THE IMPROVEMENTS SHOWN HEREON DO NOT GOVERN FINAL DESIGN OR LAYOUTS.

**THE WATERS - SAN MARCOS
PRELIMINARY PLAT
PHASING PLAN - PHASE 2**

NO.	REVISIONS	DESCRIPTION	DATE

DATE:	8/16/2023
DESIGNED BY:	RJS
DRAWN BY:	RJS
CHECKED BY:	CRH
DRAWING NAME:	JAS56162.P2R2L

PROJECT SUMMARY	THE WATERS - SAN MARCOS
SUBDIVISION	THE WATERS - SAN MARCOS
NO. OF LOTS	1,000
AREA	40.99 AC
ZONING	CD5
SURVEY / ABSTRACT	CD5



American Ventures

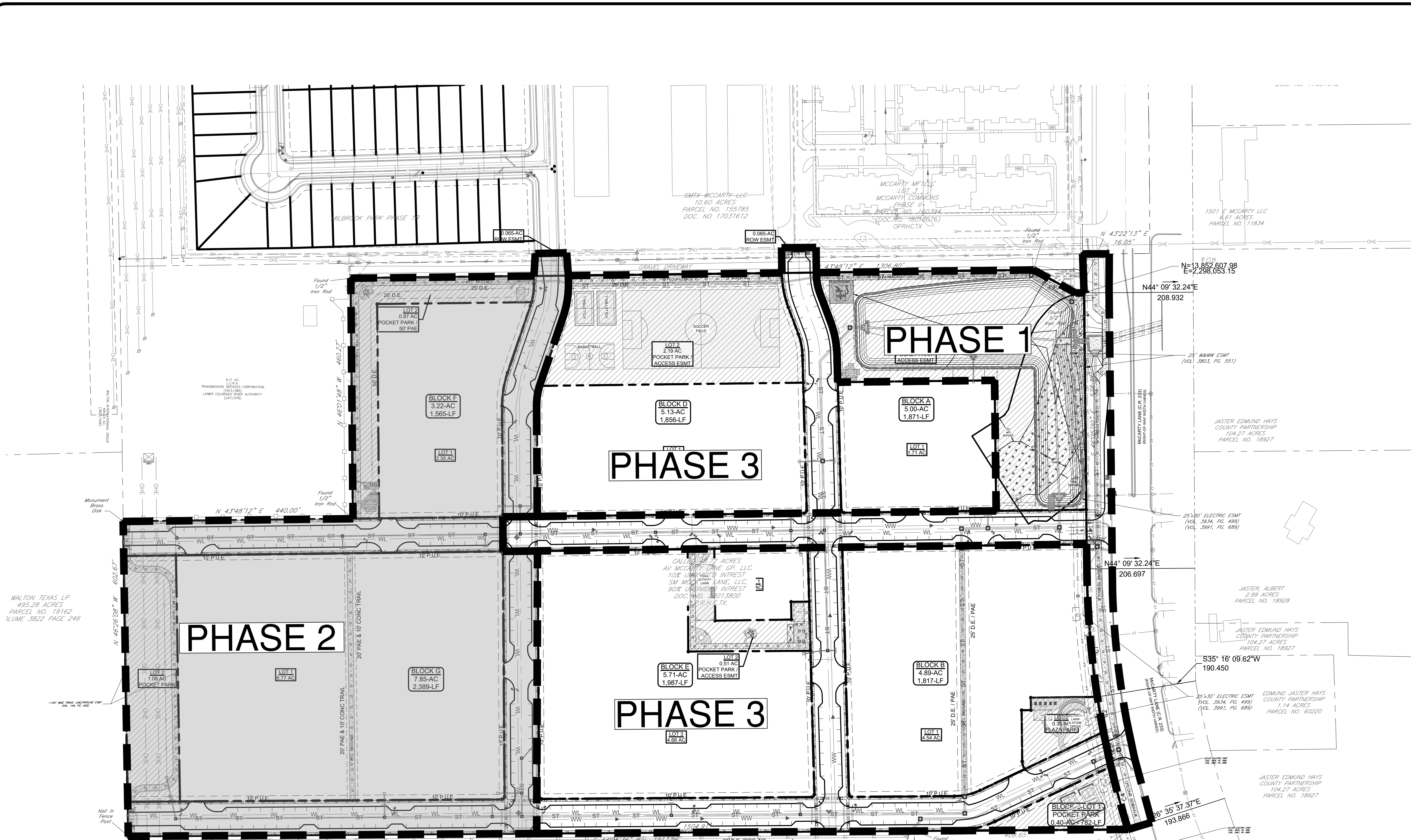
LJA Engineering, Inc.
Phone 512.439.4700
Fax 512.439.4716
FRN-F-1386

JOB NUMBER:
A634-0401

PH02

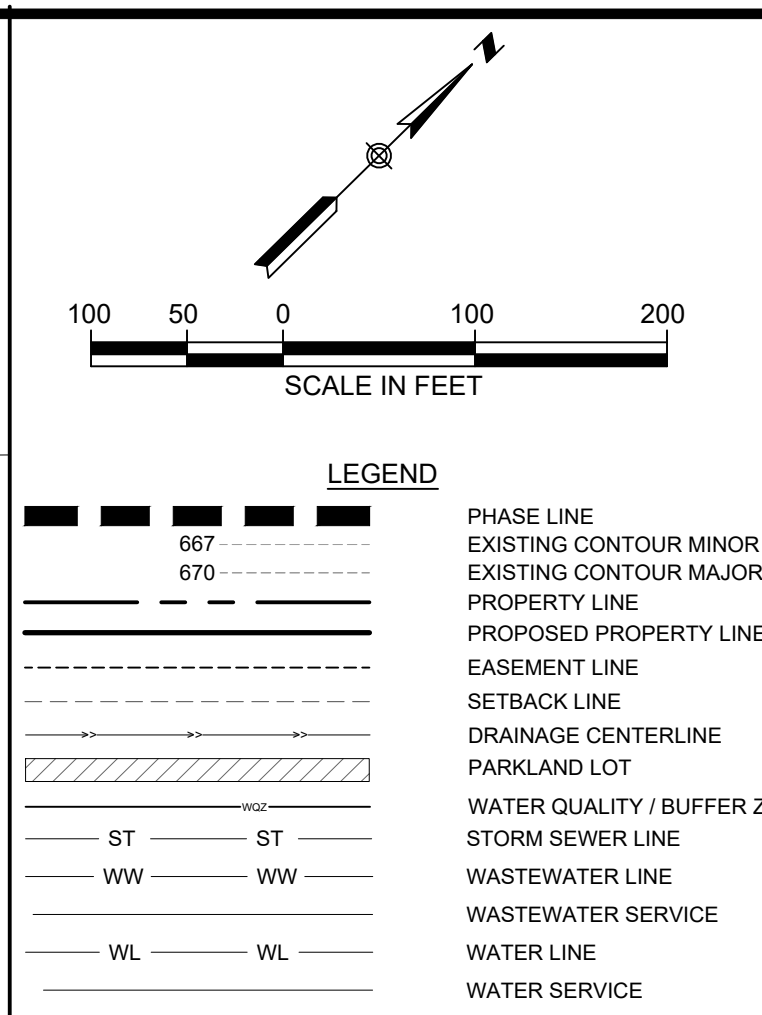
SHEET NO.
09
OF 10 SHEETS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



TRACT 1
59.826 ACRES
2,606,020 SQ. FT.

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User: laurapreece
Plot Date/Time: Jun, 27, 23 - 13:23:22



LEGEND

	PHASE LINE
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPERTY LINE
	PROPOSED PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	DRAINAGE CENTERLINE
	PARKLAND LOT
	WATER QUALITY / BUFFER ZONE
	STORM SEWER LINE
	WASTEWATER LINE
	WASTEWATER SERVICE
	WATER LINE
	WATER SERVICE

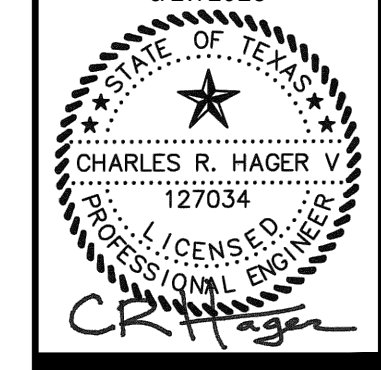
- PHASE 1 SITE AREA (5.04-AC)
- PHASE 2 SITE AREA (20.99-AC)
- PHASE 3 SITE AREA (14.69-AC)

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THE WATERS - SAN MARCOS
PRELIMINARY PLAT
PHASING PLAN - PHASE 3
E. MCCARTY LANE, SAN MARCOS, TEXAS 78666

NO.	REVISIONS	DATE

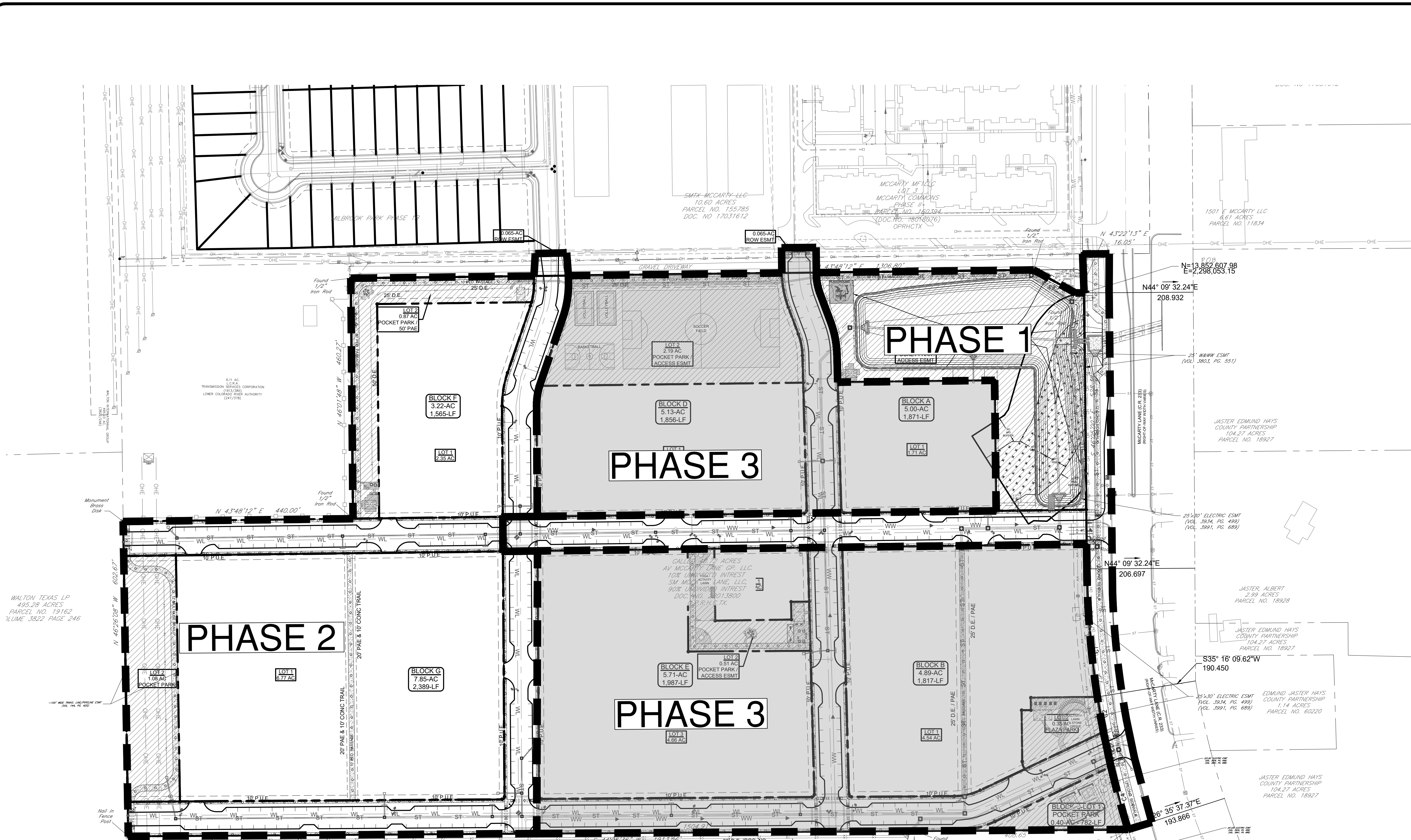
DATE	DESIGNED BY	DRAWN BY	CHECKED BY	DRAWING NAME
6/16/2023	RLS	RLS	CRH	JAS/SEL/EPZ/EL



American Ventures
LJA Engineering, Inc.
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Fax 512.439.4716
7500 Riata Boulevard
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Austin, Texas 78735
FRN-F-1386

JOB NUMBER: A634-0401
PH03
SHEET NO. 10 OF 10 SHEETS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



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