

MASTER PLAN
and
PLANNED DEVELOPMENT DISTRICT STANDARDS FOR



TRACE

October 21, 2015
Approved PDD

Amended December 17, 2019

[Proposed Amendment March 23, 2022](#)

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Section 1: Intro

1.1 Goals

Successful large master planned communities begin with a vision and a set of goals by the land developer. For Trace, these goals are:

- To provide needed housing to the city of San Marcos at a variety of home prices to the entry level, first time home buyer as well as the move up market buyer.
- [To deliver needed workforce housing in this environment of rapid growth in Central Texas.](#)
- To deliver a family oriented, kid friendly community.
- To create a community that has both walking and biking access to trails, open space, parks, neighborhood shopping areas and employment areas.
- To create new employment opportunities in the City of San Marcos and allow for easy access to and from those employment centers within Trace.
- To be environmentally sensitive in design and avoid impacts to wetlands, creeks and sensitive drainage areas where ever possible.
- To be water use conservative in landscape design.
- To create a better quality living experience in roadway design.

1.2 Introduction

Trace is a 417.63-acre mixed use development that is situated on the southern edge of the City of San Marcos. This project offers an impressive gateway into the City from the south. An iconic work of art will be visible at the eastern edge of the property to mark the entrance to the community and San Marcos as a whole and the views from the highway will highlight the natural beauty of the landscape. The development is intended to serve as a quality commercial, business and residential community where people may live, work and enjoy enhanced amenities commensurate with a master planned community.

Trace will be composed of a mix of residential, business-park and commercial retail uses, as well as, an abundance of parks and open space. Residential uses include single-family home sites, and multi-family communities. The commercial uses include general, community and neighborhood commercial retail. A business park is strategically located adjacent to I-35 and provides a smooth transition between the freeway and residential neighborhoods. Parks and natural open space spread throughout the site buffer natural waterways and provide recreational areas.

A mix of single family housing styles and sizes will be available. The residential area will include one or more multi-family communities that will buffer the business and commercial areas from the single family neighborhoods. Trace will be developed with respect for the existing landscape using the creeks and wetlands as a feature of the residential communities so that the natural beauty of the property remains intact. The community's collector roadways will be built as parkways by separating traffic lanes with tree-lined medians and planting the right of ways with native flowers and shrubs. The planned bike lanes are widened for more-comfortable rides; and swaths of open space run parallel to the roadways allowing trails to sweep through trees and along the creek edges.

An amenity center and elementary school are also planned and will be located in the heart of the community, providing central places to gather, learn, and play. Altogether, Trace adds to the numerous attractions of San Marcos in a way that seems like it has always been part of the city.

1.3 Project Location

Trace is located on the south end of the city of San Marcos and will act as the southern gateway to the City. It is situated south of Posey Road, east of the I-35 freeway, and west of Old Bastrop Highway.

Illustration 1: Vicinity Map

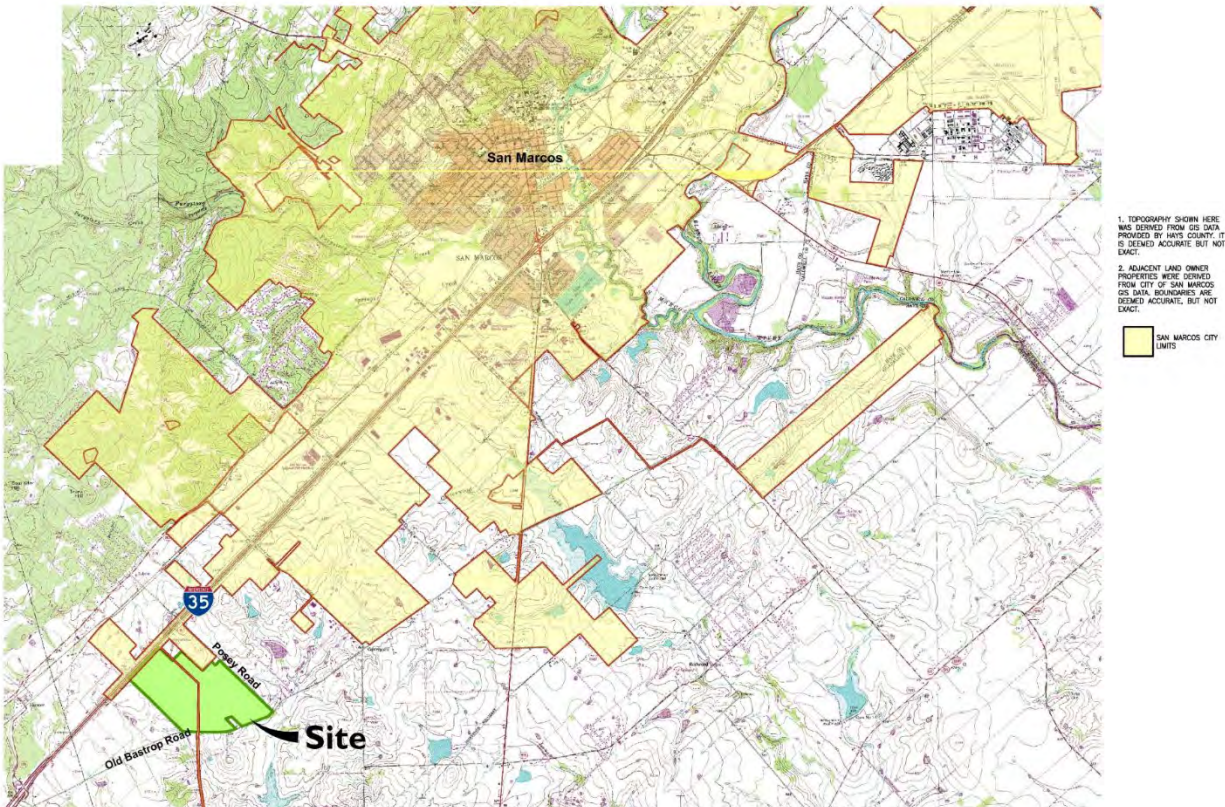


Illustration 2: Portion of the Project within City Limits ([UPDATED](#))

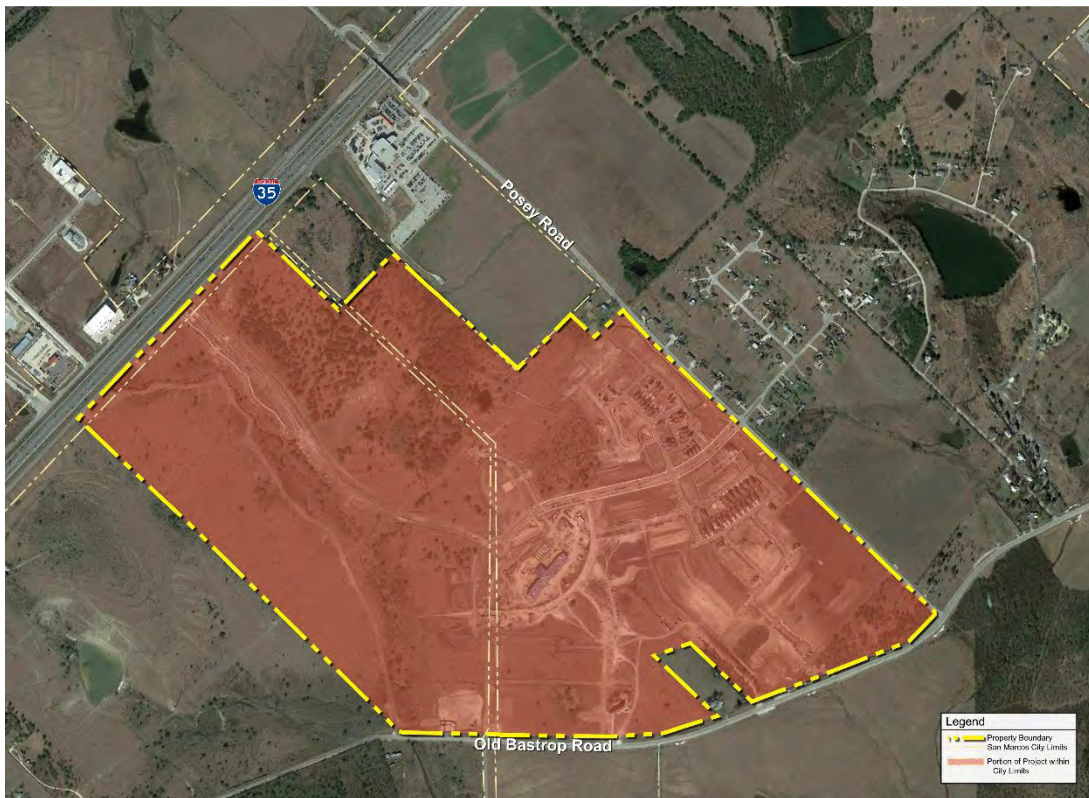


Illustration 3: Base Aerial ([UPDATED](#))



1.4 Existing Property Conditions

Trace is currently undeveloped agricultural land utilized for grazing and hay production [under full development](#). The property was purchased by its current ownership in 2001 and ~~has been~~ [was](#) leased to a local rancher [until development started](#). The Trace Development site has been subjected to long term impacts associated with grazing and erosion over time. The property included two manmade stock ponds, debris piles, agricultural equipment, cattle pens, and one occupied and two abandoned single family residences. There were no paved roads, or other improvements on the subject property. A Natural gas pipeline, reclaimed water line and electric line were identified on the subject property. The occupied house contains a septic system; however no sanitary sewers or septic systems were identified near the two abandoned residences. Utilities include overhead electrical power lines with non-PCB pole mounted transformers. Native grasses currently cover most of the subject property.

The property is east of the Edwards Aquifer recharge zone on deep Blackland Prairie soils. The area surrounding the subject property may be generally described as rural, transitioning to suburban. Nearby properties have been recently developed along the east side of Posey Road as well as several homes northwest of the subject property. The San Marcos Toyota car dealership, located on the southwest corner of Posey Road and IH 35, is the only commercial property on the east side of IH 35 in the surrounding area. The surrounding land is utilized for grazing and hay production or is open, unmaintained land. The San Pedro Cemetery is located at the northwest corner of the Posey Road and S Old Bastrop Highway intersection.

Illustration 4: Existing Conditions ([UPDATED](#))

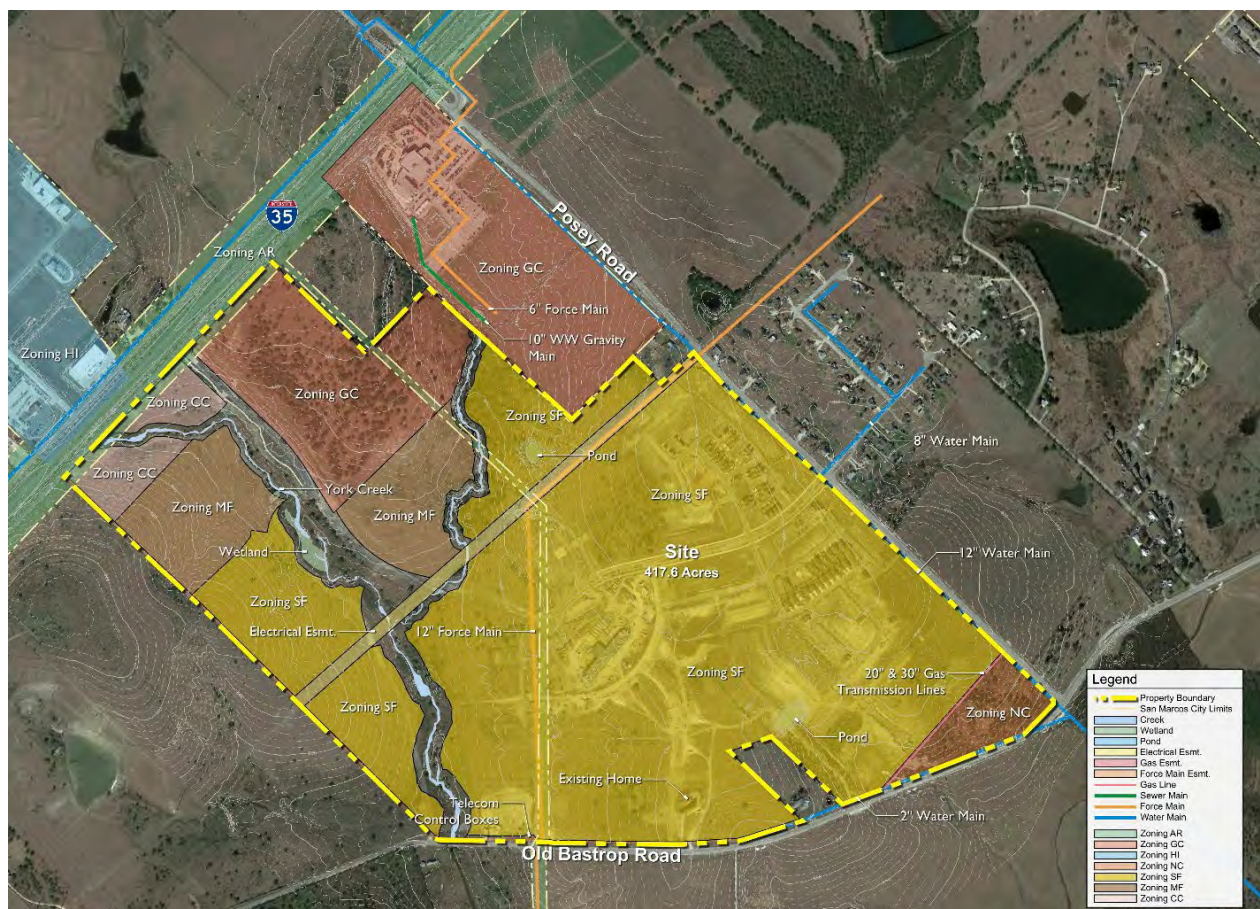
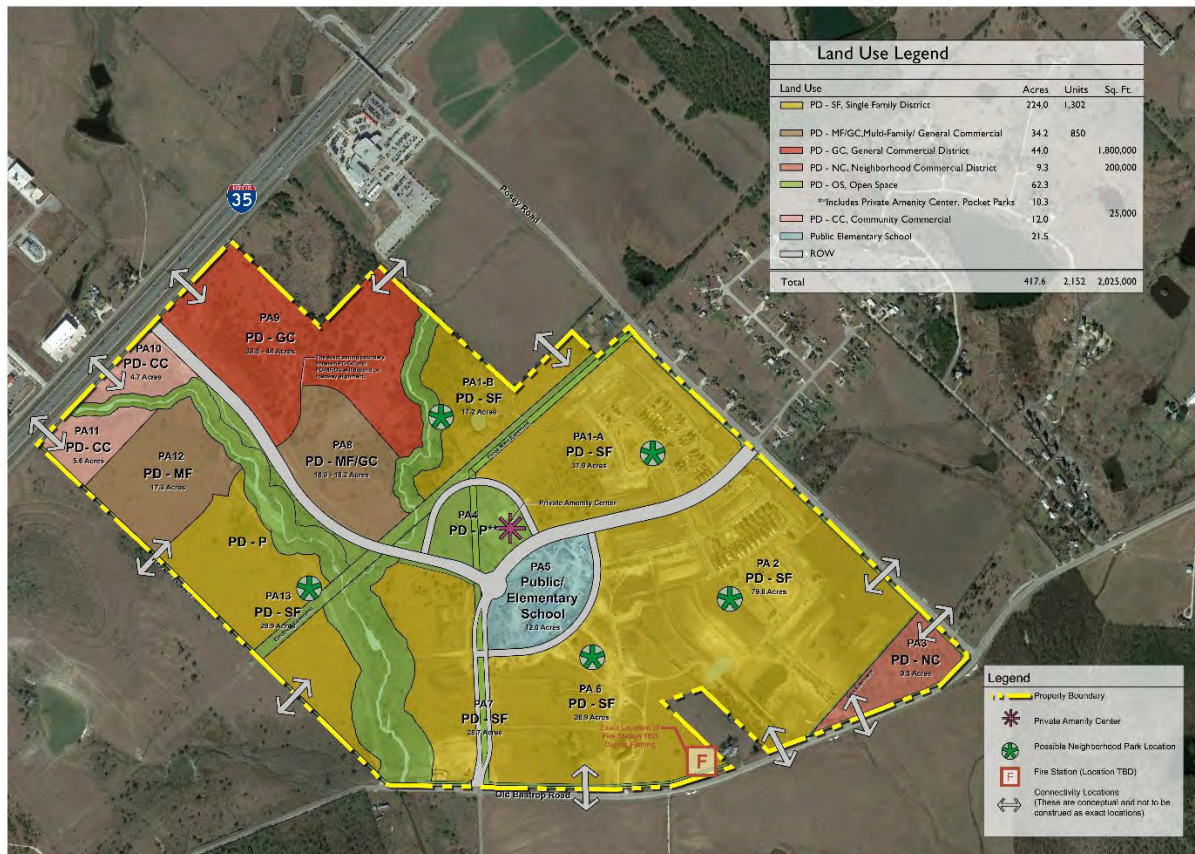


Illustration 5: Slope Map (Located in the Appendix)

Illustration 6: Topography & Environmental Features (Located in the Appendix)

Section 2: Concept Plan

Illustration 7: Concept Zoning Plan (UPDATED)



2.1 General Land Use Designations

2.1.1 PD-SF Single Family

Trace contains 237.9 acres of single family residential uses. The community allows for a mix of Single-Family type lots in a variety of sizes and configurations in order to achieve a high quality master planned community. These single family uses would be designed within the SF 6 criteria of the City of San Marcos zoning regulations and would include 50' wide lots to achieve a 6,000 SF lot; 60' wide lots to achieve a 7,200 SF lot; and 70' wide lots to achieve a 8,400 SF lot. Varying lot sizes would be utilized in different neighborhoods and configurations to achieve a variety of housing types at different price ranges.

Trace would also offer small lots in the range from 2,500 SF to 4,500 SF both as attached and detached units. These lots would be designed similar to the SF 4.5, D, TH and PH-ZL criteria

of the City of San Marcos zoning regulations but shall be alley loaded. Attached garages and detached garages could be utilized in this range of lots. Townhome type housing could be designed within the Trace Planned Development District.

Maximum densities for each Planning Area are shown in the table below. Each Planning Area could have any of the lotting types as addressed in this table.

Planning Area	Acreage	% of Residential Acreage	Types of lots	Max Density units/acre	Maximum allowable Units
1A	37.9	16% 17%	32' or 40' Alley loaded; 50' wide traditional front loaded lots; townhouse units.	6.0	227
1B	17.2	7% 8%	32' or 40' Alley loaded; 50' wide traditional front loaded lots; townhouse units.	6.0	103
2 / 6 Fire Station Site	113.5 101.7	48% 46%	32' or 40' Alley loaded; 50' wide traditional lots; 60' wide traditional lots; 70' wide traditional lots.	5.0	568 508
School Site	12.0	5%	32' or 40' Alley loaded; 50' wide traditional lots; 60' wide traditional lots; 70' wide traditional lots	5.0	60
7	24.7 33.1	10% 15%	32' or 40' Alley-loaded; 50' wide traditional lots or alley loaded; 60' wide traditional lots.	5.0	124 165
13A	13.6	6%	50' wide traditional lots; 60' wide traditional lots; 70' wide traditional lots.	4.0	54
13B	19.00	8%	50' wide traditional lots; 60' wide traditional lots; 70' wide traditional lots.	4.0	76
13	32.6	15%	50' wide traditional lots; 60' wide traditional lots.	4.0	130
Totals	237.9 222.5 acres	100%		5.36 5.09 Avg. DU/AC	1,212 1,133

This table provides for up to a maximum of ~~1,212~~ 1,133 single family units. ~~Due to site constraints, open space and parks, however, there is currently planned to be 995 single family units constructed.~~ No more than ~~30%~~ 34% of those single family homes will be of the smaller lot configuration which includes the 32' and 40' wide Alley-loaded lots. ~~If the school site is not accepted by the San Marcos Consolidated Independent School District then the school site could have a maximum of 60 lots. Further discussion of this is located under Section 3.1.~~ In addition, a Fire Station will be located within Planning Area 6 as indicated in Illustration 7: Concept Zoning Plan.

2.1.2 PD-MF & PD-MF/GC Multi Family

Trace has 35.4 acres of multi-family use. The Multiple-Family Residential District in Planning Areas 8 and 12 is intended for development of multiple-family, for sale or market rate for rent residences not to exceed more than 24 units per acre. This Multi-Family Residential District shall not have "rent by the room" apartments. This district will serve as a buffer between low or medium density residential development and the nonresidential development. Planning

Area 8 shall have the ability to expand the GC District as identified in the PD-MF/GC land use matrix within Section 13.2.

2.1.3 PD-NC Neighborhood Commercial

The Neighborhood Commercial District encompasses 9.3 acres and is established to provide low intensity office, retail and service facilities for the local neighborhood area. These uses shall be compatible with residential uses in the neighborhood. A Neighborhood Commercial area within Trace is conveniently located at the intersection of Posey Road and Old Bastrop Highway. It is divided from the residential uses by a 50' wide gas pipeline easement which will be landscaped and screened. Enhanced architectural guidelines for this area are discussed in Section 6.3 Commercial. Except as otherwise provided herein, this district will comply with the Neighborhood Commercial (NC) criteria of the City of San Marcos Zoning Regulations.

2.1.4 PD-CC Community Commercial

The Community Commercial District contains a total of 11.7 acres and is established to provide areas for quality larger general retail establishments and service facilities for the retail sale of goods and services. This district should generally consist of retail nodes located along or at the intersection of major collectors or thoroughfares to accommodate high traffic volumes generated by general retail uses. The location of this area allows for the retail businesses to serve not only area residents but community residents as well. Enhanced architectural guidelines for this area are discussed in Section 6.3 Commercial. Except as otherwise provided herein, this district will comply with the Community Commercial (CC) criteria of the City of San Marcos Zoning Regulations [including the four story and 80% impervious Cover.](#)

2.1.5 PD-GC General Commercial

The Employment Center/General Commercial District, containing 44 acres, is intended to provide shovel ready opportunities for prospective companies and employers. These could include limited (light) commercial and service-related establishments; clean manufacturing; corporate headquarters; and office park/office building uses. The commercial uses within this district will have operation characteristics that are generally compatible with the Community Commercial District and the Multi-Family residential areas immediately adjacent to this area. Careful consideration of building heights and screening will apply. Enhanced architectural guidelines for this area are discussed in Section 6.3 Commercial. Except as otherwise provided herein, this district will comply with the General Commercial (GC) criteria of the City of San Marcos Zoning Regulations [including the four story and 80% impervious Cover.](#)

2.1.6 PD-P Public

Trace contains approximately 84 acres of open space and parks. The City of San Marcos has determined that recreational areas in the form of public parks and open spaces are necessary for the enjoyment and well-being of residents of the City. The City has further determined that a reasonable connection exists between the subdivision of residential property and the need for additional parkland to serve new residents of the community. Open Space and Parks and Trails are discussed in more detail in Section 3.

2.2 Phasing

The project will be developed in a series of phases as described below.

- In addition to other applicable health and safety ordinance requirements, each phase will be required to meet Emergency Access requirements at all stages of development as defined by the International Fire Code.
- Unless otherwise noted, all City of San Marcos Codes and Procedures shall be complied with for this development.

Development - Phase 1A ~~will begin at the intersection of Posey Road and Road Segment A and will service Planning Areas 1, 2, 3 and the private amenity center of Planning Area 4. In order to provide wastewater services for the two residential planning areas, lift stations A and B located within Planning Areas 2 and 7, will also need to be constructed concurrent with this phase of development. Also, one and one-half miles of off-site force main will need to be constructed from Lift Station B north of the project to connect to an existing wastewater line near the Tanger Outlet Malls on Centerpoint Drive. Planning Areas 1 & 2 will contain single family home sites for merchant builders. Planning Area 3 is a neighborhood retail site and will be subject to market demand but will be “shovel ready” and available for sale in conjunction with the construction of Planning Areas 1 and 2.~~

~~will begin at the~~ has been completed. Phase 1A begins at the intersection of Posey Road and Road Segment A and services Planning Areas 1 and 2 and the private amenity center of Planning Area 4. In order to provide wastewater services for the two residential planning areas, lift stations A and B located within Planning Areas 2 and 7, has been constructed concurrent with this phase of development. Planning Areas 1 & 2 contain single family home sites for merchant builders. Planning Area 5, the elementary school site was delivered and constructed with the first phase of development. In order to deliver access to the school site a portion of Road Segment C was built.

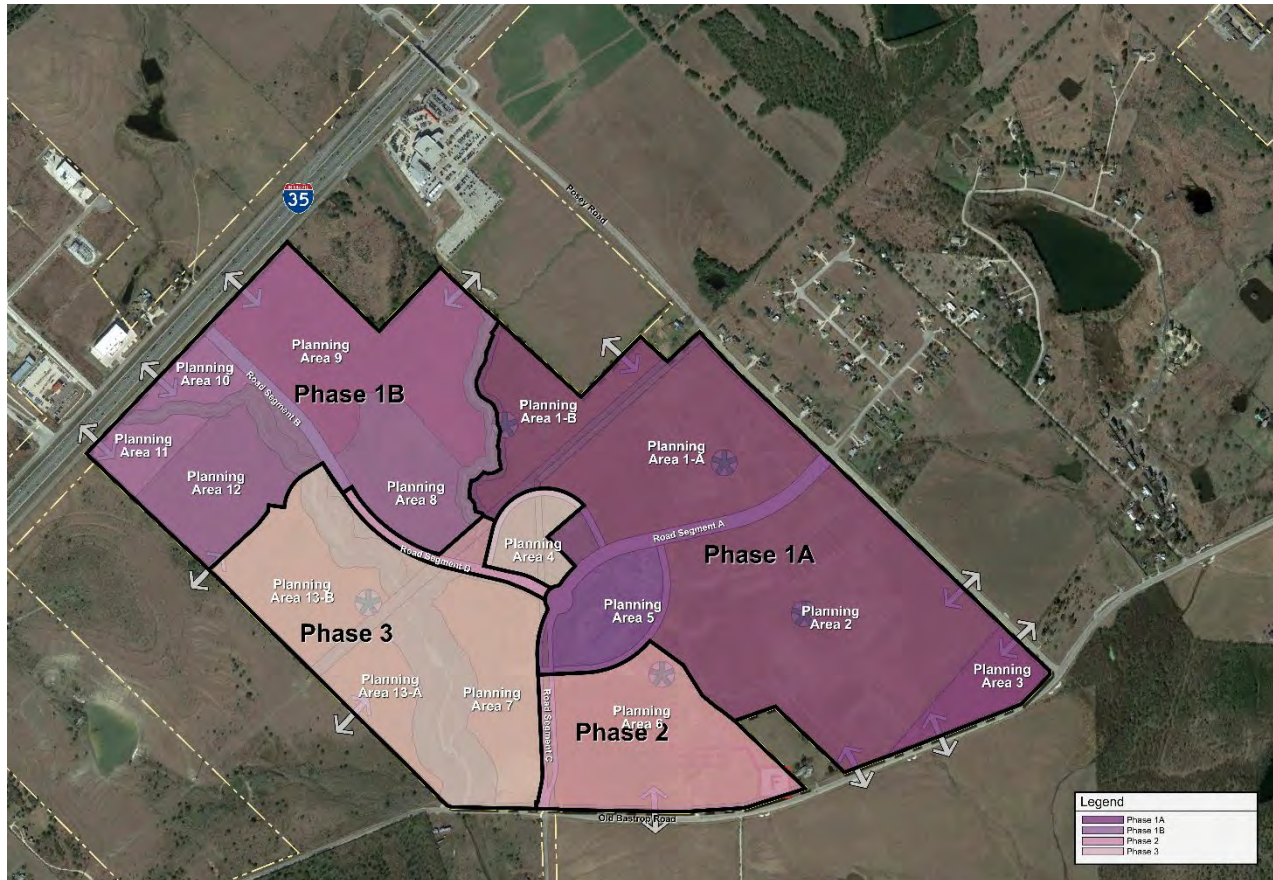
Development - Phase 1B ~~will begin at the intersection of I-35 and Road Segment B and will service Planning Areas 8, 9, 10, 11 and 12. The grading of Phase 1B of development will be commenced almost concurrently with Phase 1A to provide shovel ready properties contingent upon securing buyers / users for the retail, business center or multi-family sites noting that these sites will be available for sale as soon as the water and wastewater facilities are available to serve them. This phase of construction is dependent solely on the development of Phase 1A because the water lines serving Development Phase 1B come from Posey Road, thru Road Segment A, a portion of Road Segment C, Road Segment D, and Road Segment B. These water lines are well over 1 mile in length. Wastewater service cannot be delivered to Development Phase 1B until the Wastewater Lift Station at the southeasternmost corner of the project is fully built and operating. There are over 2.5 miles of force main lines commencing at this lift station and traveling north from the project site to a point near or just north of the Outlet Malls which must also be built prior to delivery of shovel ready properties within Development Phase 1B. Development Phase 1B will require approximately 8/10ths of a mile of gravity sewer line to be built from Development Phase 1B to the lift station located at the southeasternmost corner of the project. Planning Area 9 is a 44 acre general commercial site with a variety of uses allowed and will be for sale subject to securing either a user or developer. Planning Areas 8 and 12 are multi-family sites and will be for sale subject to market demand. Planning Areas 10 & 11 are community commercial sites and will be for sale, subject to market demand.~~

has been completed. It begins at the intersection of I-35 and Road Segment B and will service Planning Areas 8, 9, 10, 11 and 12. The grading of Phase 1B of development will be commenced almost concurrently with Phase 1A to provide shovel ready properties contingent upon securing buyers / users for the retail, business center or multi-family sites noting that these sites will be available for sale as soon as the water and wastewater facilities are available to serve them. This phase of construction is dependent solely on the development of Phase 1A because the water lines serving Development Phase 1B come from Posey Road, thru Road Segment A, a portion of Road Segment C, Road Segment D, and Road Segment B. These water lines are well over 1 mile in length. Wastewater service cannot be delivered to Development Phase 1B until the Wastewater Lift Station at the southeasternmost corner of the project is fully built and operating. Development Phase 1B will require approximately 8/10ths of a mile of gravity sewer line to be built from Development Phase 1B to the lift station located at the southeasternmost corner of the project. Planning Area 9 is a 44 acre general commercial site with a variety of uses allowed and will be for sale subject to securing either a user or developer. Planning Areas 8 and 12 are multi-family sites and will be for sale subject to market demand. Planning Areas 10 & 11 are community commercial sites and will be for sale, subject to market demand.

Development - Phase 2 ~~will then begin at the intersection of Old Bastrop Highway and Road Segment C and will service Planning Areas 5, 6 and 7. Planning Area 5 is an elementary school site and will be donated to, and built by, the local school district when sufficient student demand has occurred. Alternatively, if not developed as a school site, this site will contain additional single family lots. Planning Area 6 is planned for the largest lots in the development, subject to market conditions, and will provide for larger and more expensive homes. The timing of Planning Area 7 will be subject to absorption of homes in Planning Area 1 or 2. In addition, a Fire Station that will be partially funded by the Trace Development is proposed to be located within Planning Area 6 as indicated in Illustration 7: Concept Zoning Plan. Timing and completion of the proposed Fire Station will coincide with the approved Fire Station agreement.~~ is currently under construction and projected to open in March of 2022. It begins at the intersection of Old Bastrop Highway and Road Segment E and will service Planning Areas 6 and 7. The timing of Planning Area 6 and 7 will be subject to absorption of homes in Planning Area 1 or 2. In addition, a Fire Station that will be partially funded by the Trace Development is proposed to be located within Planning Area 6 as indicated in Illustration 7: Concept Zoning Plan. Timing and completion of the proposed Fire Station will coincide with the surrounding development. Road Segment D will be completed in the fall of 2021. Portions of the force main lines have been under construction during Phase 1A and Phase 2.

Development - Phase 3 encompasses Planning Area 13 and includes the public park area in Planning Area 4. Also, one and one-half miles of off-site force main will be constructed from Lift Station B north of the project to connect to an existing wastewater line near the Tanger Outlet Malls on Centerpoint Drive. There are over 2.5 miles of force main lines commencing at this lift station and traveling north from the project site to a point near or just north of the Outlet Malls.

Illustration 8: Phasing Plan (UPDATED)



Section 3 Public Space

The Trace development will include approximately eighty four (84) acres of parks and open space and 2 to 3 miles of trails designed to preserve the natural landscape and create a shared sense of community within the project. ~~A 12-acre school site will also be offered to the school district for development of an elementary school as well as a 3-acre site for the development of a fire station.~~ [A 12 acre school site was dedicated to the school district and Rodriguez Elementary School opened August 2019.](#) A 3 acre site will also be offered for the development of a fire station.

3.1 Open Space

Open Space Requirement - The City of San Marcos' current Land Development Code requires that a minimum of 20 percent of the gross land area within the entire PD district shall be devoted to open space. The Trace project contains 417.63 acres so 20% would be 83.5 acres. Open space for PD districts may be satisfied by either public or by a combination of public and private open space. Public open space shall be dedicated to the City.

Amenity	Total Acres	Open Space Shown on Concept Plan	Area Not Eligible for Parkland Dedication	Area to be Dedicated to City	OS to be Owned & Maintained by HOA	Additional Area Dedicated to City but Maintained by HOA	Total Area Maintained by HOA
Central park / Amenity Cntr:	9.2 8.5	9.2 8.5	2.0	7.2 6.5	2.0		2.0
Pocket Neighborhood parks:	4.7 19.1	4.7 19.1	7.9 19.1	0	7.9 19.1		4.7 19.1
Electrical easement:	7.9 7.8	7.9 7.8	7.9 7.8	0	7.9 7.8		7.9 7.8
Boulevard landscaping:	13.1 12.3	13.1 12.3	9.0	4.1	9.0 8.2	4.1	13.1 12.3
Environmental buffer:	22.9 42.7*	22.9 42.7	3.9*	19.0 38.8	3.9		3.9
Detention basins:	26.4 7.1	0	0	0	26.4 7.1		26.4 7.1
Residential Open Space	6.3	0	6.3	0	6.3		6.3
Total Open Space:	84.2 103.8	57.8 90.4	27.5 48.1	30.3 49.4	53.9 54.4	4.1	58.0 58.5
	20.16% 24.9%			36% 47.6%	64% 52.4%		69% 56.4%

*3.9 Acres of Environmental Buffer is identified as wetlands

Currently the Concept Zoning Plan submitted with this document shows ~~57.8~~ 90.4 acres of open space within the Trace project. The detention basin open space areas shall be addressed and shown on the subsequent Subdivision Preliminary Plat submittals.

Trace will contain approximately ~~twenty three (23)~~ forty three (43) acres of open space along the existing creeks and wetlands on the property. This greenspace technically provides a water quality buffer for the creeks and wetlands. The installation of supplemental native plants to enhance the visual and functional qualities of these areas will provide Trace with a dual purpose amenity. Approximately ~~thirteen (13)~~ twelve (12) acres of open space flank roadways within the project. These areas will be strategically planted with native and adapted ornamental plant materials to create a framework and transition to the native landscape beyond. The width and quantity of these roadway open spaces shall create opportunities for major trail connections to create pastoral, pleasant experiences for pedestrians and cyclists.

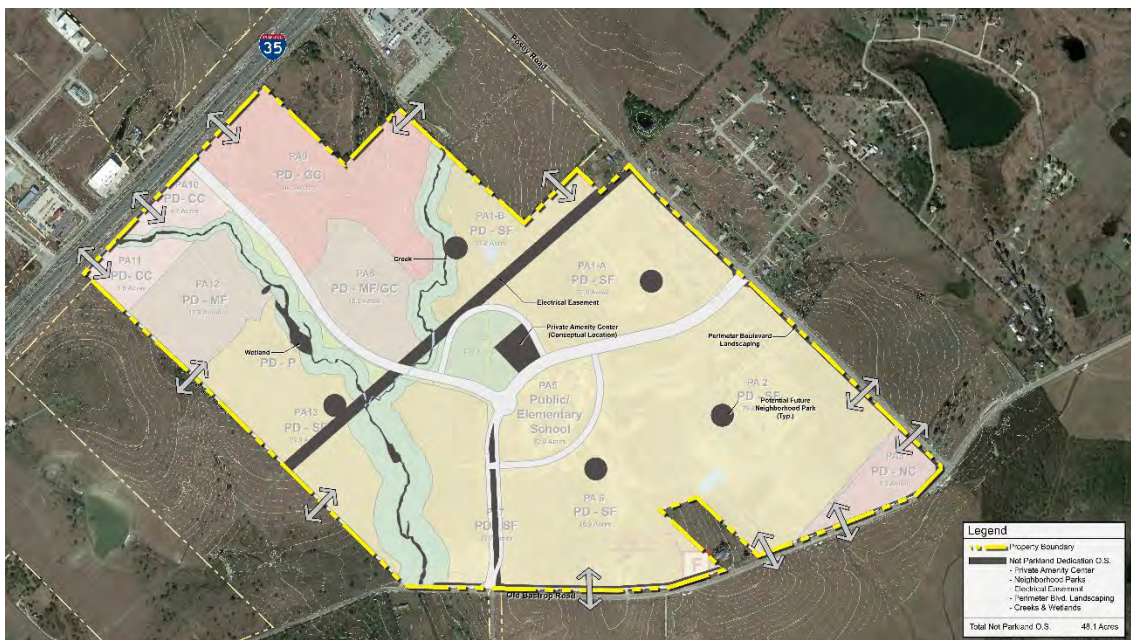
The walkability of Trace enhances the cohesiveness of the community and raises the quality of life for residents. Enhancement such as re-establishment of prairie grasses and other bank stabilizing vegetation will provide forage and cover opportunities for a variety of birds and small mammals to regenerate natural cycles on a property that has been historically overgrazed.

Existing utility easements create opportunities for a restorative native landscape and trail system. These trails will be great connections as well as educational and interpretive elements of Trace. The overall amount and connectivity of the open spaces throughout Trace will create a network of trails that link to a variety of activities and amenities.

Illustration 9: Concept Plan Open Space (does not include ~~include~~ detention basin locations) (UPDATED)



Illustration 10: Open Space Not Eligible for Parkland Dedication – ~~27.5~~ 48.1 acres (UPDATED)



3.2 Parkland Dedication

Standard City Requirements for Parkland - The City of San Marcos Land Development Code requires 5 acres of parkland per 1,000 residents. It requires that 2.7 residents are calculated per single family unit and 2.1 residents are calculated per multi-family unit (based on the maximum allowed units per acre per multi-family zoning designation). Drainage ditches, detention ponds, power line easements and steep slopes are not eligible for dedication but the 100 year flood plain is considered eligible for parkland credit. The calculations below detail the amount of parkland over and above the base requirement which will be dedicated to the City.

Parkland Dedication Requirement Calculations: Based on Concept Zoning Plan dated 07/07/2015

Single-Family:	995 <u>1,133</u> units x 2.7 residents per unit =	2,687 <u>3,060</u> residents
Multi-Family:	850 <u>731</u> units x 2.1 residents per unit =	1,785 <u>1,535</u> residents
Total Residents:		4,472 <u>4,595</u> residents
Minimum Parkland requirement:		
	4,472 <u>4,595</u> total residents x 5 acres per 1,000 residents =	22.4 <u>23.0</u> acres

Illustration 11: Parkland for Dedication – ~~30.3~~ 49.4 acres (UPDATED)



Parkland to be dedicated to the city will total ~~30.3~~ 49.4 acres which is in excess of the City of San Marcos requirement of ~~22.4~~ 23 acres.

- Land proposed for dedication as public parkland or open space shall be designated on the final plat for that phase or section of the project.
- Parks and open space improvements shall be constructed and accepted in the same manner as public improvements, prior to final plat recordation or fiscal surety provided in accordance with applicable ordinances, and within the phases identified.
- If the developer intends to provide fiscal surety in-lieu of construction of improvements prior to final plat approval, Design Development Drawings for proposed parks [to be dedicated to the City of San Marcos](#) and open space shall be submitted for review at the time of [PICP and final plat](#) in order to determine/verify amount of fiscal surety.
- Cost for construction of parks and open space, both public and private, shall be borne by the developer.
- Typically open space requirements would be satisfied for each phase of a multi-phased residential development, however if open space is not to be provided proportionally among phases of development, the applicant shall execute a reservation of open space in a form that will assure the City that such open space will be provided. All open space within the PDD shall be provided prior to completion of development within the district.
- Parkland [to be dedicated to the City of San Marcos](#) shall be easily accessible for the public and open to public view so as to benefit area residents, enhance the visual character of the City, protect public safety and minimize conflicts with adjacent land uses.
- Land dedication for public use and maintenance shall have a minimum of 150 feet of frontage on a Local or Collector Street.
- All public parkland must be accessible and any proposed development adjacent to a public park or open space area shall not restrict reasonable access or visibility into the park.
- All parks [to be dedicated to the City of San Marcos](#) will have at least 2-sides visible from public streets and the terrain of Trace is gentle enough that physical accessibility challenges are readily managed.
- All parkland [including private, HOA owned parks](#) shall be safely accessed by pedestrians, especially children.
- Public parkland and open space shall comply with Land Development Code parking requirements.
- Public parkland and open space land improvements shall be reviewed by the appropriate city staff to approve material selection on surfaces within publicly owned areas.
- [Public](#) parkland [to be dedicated to the City of San Marcos](#) construction documentation shall be required to be reviewed and approved administratively by the City of San Marcos Parks Department and Site and Building permit approvals shall be required by the Planning and Development Services Department.
- No private drainage or storm water detention facilities or amenities not directly serving park purposes shall be permitted in dedicated parkland or open space.

3.3 Open Space & Parks Programming

Trace is a relatively compact community; easily walkable with generous amounts of open space and parkland. Because of the compact size of the Community and the central location of the main Amenity Center and School, the park system within Trace will have a variety of experiences to suit the residents and users.

Illustration 12: Open Space and Parks Programming Plan (UPDATED)



- Large fields, pools and/or splash pads will be centrally located to give maximum access as well as direct higher traffic volumes to larger roads.
- Internal neighborhood ~~pocket~~ parks will be either un-programmed passive areas for neighborhood gatherings or lightly programmed play areas that may serve the homes furthest from the central activity area. The intent is that ~~pocket~~ neighborhood parks would allow sufficient outdoor quality of life experiences when time prohibits walking to the central amenity center.

Open Space & Parks Programming Schedule

M	Mandatory Improvement								
O	Allowed Optional Improvement								
D	Discourage Improvement								
Facility	HOA Amenity Center	Public Central Park	Pocket -Neighborhood Park #1	Pocket -Neighborhood Park #2	Pocket -Neighborhood Park #3	Pocket -Neighborhood Park #4	Pocket -Neighborhood Park #5	Open Space - Buffer Trail System	Open Space - Electrical Easement
Paths/Hike & Bike Trails	M	M	M	O	O	O	O	M	M
Park Identification Signage	M	M	M <u>O</u>	M <u>O</u>	M <u>O</u>	M <u>O</u>	M <u>O</u>	M <u>O</u>	M <u>O</u>
Way Finding	M	M	O	O	O	O	O	M	M
Landscaping	M	M	M	M	M	M	M	M	M
Trees	M	M	M	M	M	M	M	M	D
Bike Rack	M	M	M	M	O	O	O	O	D
Seating, 2 benches	M	M	M	M	M	M	M	O	D
Picnic Tables, 2 minimum	M	M	M	M	M	M	M	D	D
Grills	M	M	O	O	O	O	M	D	D
Drinking Fountain	M	M	O	O	O	O	O	D	D
Pet Fountain	M	M	O	O	O	O	O	O	D
Trash Receptacles	M	M	M	M	M	M	M	O	D
Pet Waste Receptacles	M	M	M	M	M	M	M	M	O
Restrooms	M	M	D	D	D	D	D	D	D
Playscape	M	M	O	O	O	O	O	D	D
Gazebo	D	O	O	O	O	O	O	D	D
Shade Structure	M	O	O	O	O	O	O	D	D
Exercise Equipment Circuit	D	O	O	O	O	O	O	O	D
Multi-Purpose Court	M	O	O	O	O	O	O	D	D
Multi-Purpose Fields	D	M	D	D	D	D	D	D	D
Volleyball (Sand) Court	M	O	D	D	D	D	D	D	D
Pavilion with Restrooms	M	D	D	D	D	D	D	D	D
Dog Park	O	O	D	D	D	D	D	O	D
Environmental Education	M	M	O	O	O	O	M	M	D
Sports Lighting	D	D	D	D	D	D	D	D	D
Parking	M	M	M ¹	M ¹	M ¹	M ¹	M ¹	D	D

¹ – On street parking to be provided

3.3.1 Public Central Park

A public Central Park of approximately 9 acres will provide over 7 acres of public space as well as a private 2 acre Homeowner Amenity Center. One of the goals of Trace was to create connectivity to the open space and parks as well as deliver recreational and passive facilities to meet the diverse needs of its residents. The recreational and amenity center will be centrally located so that it can be easily accessed by pedestrian, bicycle or vehicles. Greenspace trails and breaks in lot blocks will provide convenient and direct pedestrian routes to this central amenity to form a cohesive community.

- Public Central Park: On-Site trees shall be provided at a rate of one (1) tree per 30 lineal feet of street frontage and shall be clustered and located in a way that provides programming for active spaces; minimum two (2) inch caliper. A minimum of 50% of required trees must be shade trees.
- Homeowner Amenity Center: On-site trees shall be provided at a rate of one (1) tree per 1000 square feet of undeveloped area; minimum of 2 inch caliper. A minimum 50% of required trees must be shade trees.

3.3.2 Pocket Neighborhood Parks

Trace will include a minimum of five family friendly ~~pocket~~ [Neighborhood](#) parks [\(which are privately owned by the HOA\)](#) centrally located within the different sections of the community.

- These ~~pocket~~ [neighborhood](#) parks will range in program, size and orientation to respond to the various product types and demographic expected in the respective section.
- ~~Pocket~~ [Neighborhood](#) Parks shall be a minimum of ½ acre in size.
- They shall be designed to function as the neighborhood gathering spaces for interaction, play and encourage engagement with the outdoors.
- Some of these ~~pocket~~ [neighborhood](#) parks will be completely surrounded by residential streets with no houses backing up to them as shown in Illustration 15, however a few of the ~~pocket~~ [neighborhood](#) parks are located with houses backing up to them as shown on Illustration 13. In this case, no more than 20 lots shall back up to the ~~pocket~~ [neighborhood](#) park.
- ~~Pocket~~ [Neighborhood](#) Parks shall have at least two access points from the residential streets as shown on Illustration 13.
- All lots backing up to these ~~pocket~~ [Neighborhood](#) parks shall have tubular steel view fencing with a gate to allow for easy access from those houses to the park area as shown in Illustration 13.
- On-site trees shall be provided at a rate of one (1) tree per 1000 square feet of park area; minimum of 2 inch caliper. A minimum of 50% of required trees must be shade trees.

Illustration 13: Typical **Pocket** Neighborhood Park



Illustration 13: Typical **Pocket** Neighborhood Park



Illustration 13: Typical Fencing Elevation at **Pocket** Neighborhood Parks



3.3.3 Open Space Trails and Boulevard Trails

Trace will provide 2 to 3 miles of trail system that follows the terrain and makes natural features accessible for learning and observing.

- The trail system will provide access throughout the Community that minimizes potential conflicts with automobile traffic.
- The trail system will connect the commercial, the corporate campus, the multi-family and single family areas so that residents can live, work, and play within the Trace Community without getting in a car.
- The trails will range in width and surface to respond to the projected use and location. Trails along the main transportation corridors will be larger (10 to 12 feet width) and permanent concrete surfacing to allow for younger pedestrians and cyclists to traverse the property while minimizing interactions with vehicular traffic.
- Other [hiking](#) trails may be decomposed granite, mulch or mowed trails through restored wildflower meadows. Widths will be mutually agreed upon between the developer and the City of San Marcos Parks Department and will vary from 6' minimum up to 12' where projected traffic warrants.
- Trees shall be provided at a rate of 1 tree per 50 linear feet of trail; minimum of 2 inch caliper, except along portions of trail located within Environmental Buffer areas and within the Electrical Easement. Trees shall be clustered and located adjacent to trails and/or adjacent street frontage.

3.3.4 Parkland and Open Space Walking Distance

- One of the goals of the Trace Master Planned Community was to provide parks, open space and trails within walking distance of its residents. 98% of the Trace project is within ¼ mile of either a park, a trail or an open space area. The only area not within ¼ mile walking distance of a park, open space or trail is Planning Area 3 located at the corner of Posey Road and Old Bastrop Highway. Street connections between residential neighborhoods shall be provided, wherever possible, to provide reasonable access to parks and open space areas.
- Proposed access and public availability, both physical and visual, of parkland shall be reviewed by the City's Community Services Director and approved by the Planning and Zoning Commission during platting.

Illustration 14: Property within ¼ mile of Open Space or Parks ([UPDATED](#))



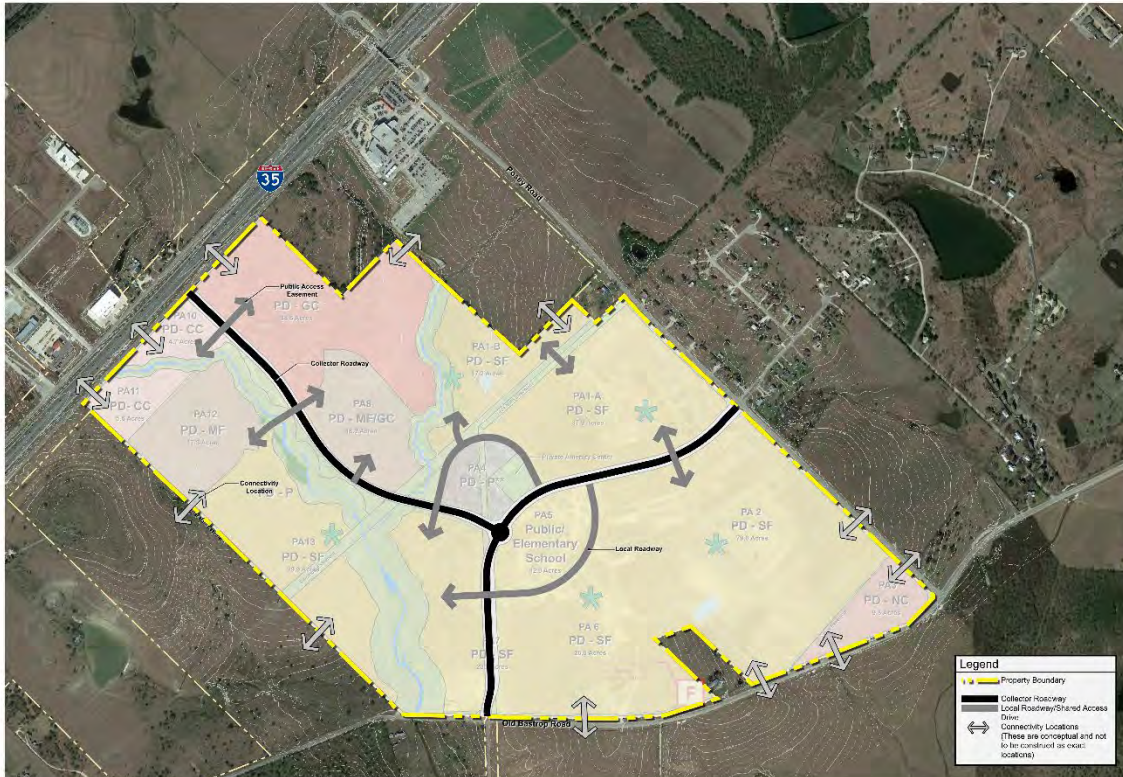
Section 4 Circulation and Connectivity

The Project will offer superior street designs that will include wider sidewalks, separated bike paths and enhanced landscaping to provide an attractive and inviting aesthetic that provides residents with a pedestrian and bicycle friendly community. Separated bike paths and wide sidewalks create a safer environment for parents and children walking to and from the centrally located central park, amenity center and elementary school.

The entire street scene is superior due to the fact that homes will front onto the Residential Collector Streets lending to a more inviting and friendly community. In addition to the enhanced parkways on either side of the collector roads, a minimum 16 foot median is added to convey a park-like impression as well as to give an added safety feature of a left hand turn lane where needed. On the road entering the project from Old Bastrop Highway, the existing 50 foot wide City Wastewater easement is utilized as a linear park. Throughout the entire community added landscaped parkways and wide naturalized buffers have been added.

In the area near the Business Center an additional 25' landscape area further buffers that area from street traffic. The neighborhood retail areas, the multi-family areas and the single family areas are separated from the collector street by a naturalized landscape buffer and water quality zone that ranges from approximately 120 feet up to approximately 315 feet. This area will have a meandering 10 foot trail and native and adapted ornamental plant materials to lend a park like atmosphere even in the most intense uses of the community.

Illustration 16: Vehicle Circulation Plan ([UPDATED](#))



Roadway Design Standards Table

Design Elements	2 Way Alley		Enhanced Residential Street				Residential Collector			Commercial/Multifamily Collector			
	Existing City Standard	Trace Standard	Existing City Standard	Trace Enhanced Residential (Standard)	Trace Enhanced Residential (School)	Trace Enhanced Residential (Central Park)	Existing City Standard	Trace Standard AA and BB	Trace Standard CC	Existing City Standard	Trace Standard DD	Trace Standard EE and HH	Trace Standard FF and GG
Expected ADT (vpd)	-	-	500	500	500	500	500 - 3,000	500 - 3,000	500 - 3,000	2,000-10,000	2,000 - 10,000	2,000 - 10,000	2,000 - 10,000
Minimum ROW (feet)	16	20	53	52	56	56	62	100-104	120 110	80	100	100	110
Minimum Paved Width (feet)	15	20	33	30	32	32	38	20+20	20+20	48	32+32	32+32 22.5+22.5	21+21
Number of Lane	1-2	2	2	1 queuing	1 queuing	1 queuing	2	2	2	2-4	4	4 2	2
Lane Width (feet)	15-20	10	10 - 11 ^a	14	16	16	10 - 11 ^a	12	12	11-12	12	12'	12
Design Speed (mph)	-	-	20 - 30	20 - 30	20 - 30	20 - 30	30 - 35	30 - 35	30 - 35	30-40	30 - 40	30 - 40	30-40
Curb Basis (feet)	-	-	10				10.5			14.5			
Tangent Length between reverse curves (feet)	-	-	50	50	50	50	100 - 150	100 - 150	100 - 150	110-150	100 - 150	100 - 150	100-150
Spacing of Cross-Street (feet)	-	-	<300	<300	<300	<300	300 - 500	300 - 500	300 - 500	500	300 - 500	300 - 500	300-500
Driveways Permitted	-	-	Yes	Yes	Yes	Yes	Yes	No ^b	No ^b	Restricted	Restricted	Restricted	Restricted
Driveway Spacing (feet) ^c	-	-	1 per property	1 per property	1 per property	1 per property	50 - 75	N/A	N/A	75-100	75 - 100	75 - 100	75 - 100
Parking	-	-	Yes / 2 sides	Yes / 2 sides	Yes / 2 sides	Yes / 2 sides	Yes	Yes / 2 sides	Yes / 2 sides	Restricted	Restricted	Restricted	Restricted
Landscaping	-	-	Both Sides 3'+3'=6'	Both Sides 7' 7.5	Both Sides 7' 8.5	Both Sides 7' 8.5	Both Sides 3.5' + 2'=5.5'	Both Sides 7'+5'=12' Varies	Both Sides 7' 8.5'	Both sides 6'+2'=8'	Both Sides 8'	Both Sides 8' Varies	Both Sides 8.5'
Street Trees (within Landscaping 7' Street Tree Area)				1 Shade Tree ^d per 30 50 LF- 2" caliper	1 shade tree per 30 LF – 2-4" size; avg. 3" caliper School Side	1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Park Side		1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Both sides	1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Both sides		1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Both sides	1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Both sides	1 shade tree per 30 LF – 2-4" size; avg. 3" caliper Both sides
Ornamental Trees					1 Ornamental tree per 5 shade trees – min. 2" caliper – School Side	1 Ornamental tree per 5 shade trees – min. 2" caliper – Park Side		1 Ornamental tree per 5 shade trees – min. 2" caliper – Both Sides	1 Ornamental tree per 5 shade trees – min. 2" caliper – Both sides		1 Ornamental tree per 5 shade trees – min. 2" caliper – Both Sides	1 Ornamental tree per 5 shade trees – min. 2" caliper – Both Sides	1 Ornamental tree per 5 shade trees – min. 2" caliper – Both Sides

Roadway Design Standards Table													
Design Elements	2 Way Alley		Residential Street				Residential Collector			Commercial/Multifamily Collector			
Sidewalks (width)	-	-	Yes 4'	Yes 4'	Yes 5' on both sides	Yes 5' on both sides	Yes 5'	Yes 6'Joined with Bike Path	Yes 6' 12' both sides	Yes 5'	Yes 5'	Yes 5' on one side; 10' trail on other	Yes 12' both sides
Bike Path Bike Lane	-	-	None	None	None	None	None	Yes 6' Joined with Sidewalk 12' on ea. side	Yes Bike Shared Use Path 12' both sides meandering in linear park	None	Yes Bike Lane 6' w/ 2' striping	Yes Bike Lane 6' w/ 2' striping	None
Grades % (max) ^d	2%	2%	8%	8%	8%	8%	8%	8%	8%	8%	8%	8%	8%
Min. Median Widths (feet)	-	-	-	-	-	-	4	4 15	50 Varies Tapers smaller at entry	4	20	20	20
Expected percent of Heavy Vehicles (%)	-	-	1.7	<1.0	<1.0	<1.0	1.4 - 8.3	<2.0	<2.0	2.0-9.8	<5.0	<5.0	≤5.0

^a - With Additional parking lanes of 8 feet on both sides

^b - Individual Driveways to single family homes will not be permitted along Street Sections AA, BB, CC nor EE except for entrance to the school site or park site

^c - Varies with the design speed of the roadway and is different for City and TxDOT roadways. Refer to Chapter 5: Driveway Design and Access Management

^d – On single family lots ~~40 feet in width or less~~, two shade trees are required per lot by Section 6.1.1.4(d) (1); one of these trees may count towards the one required street tree.

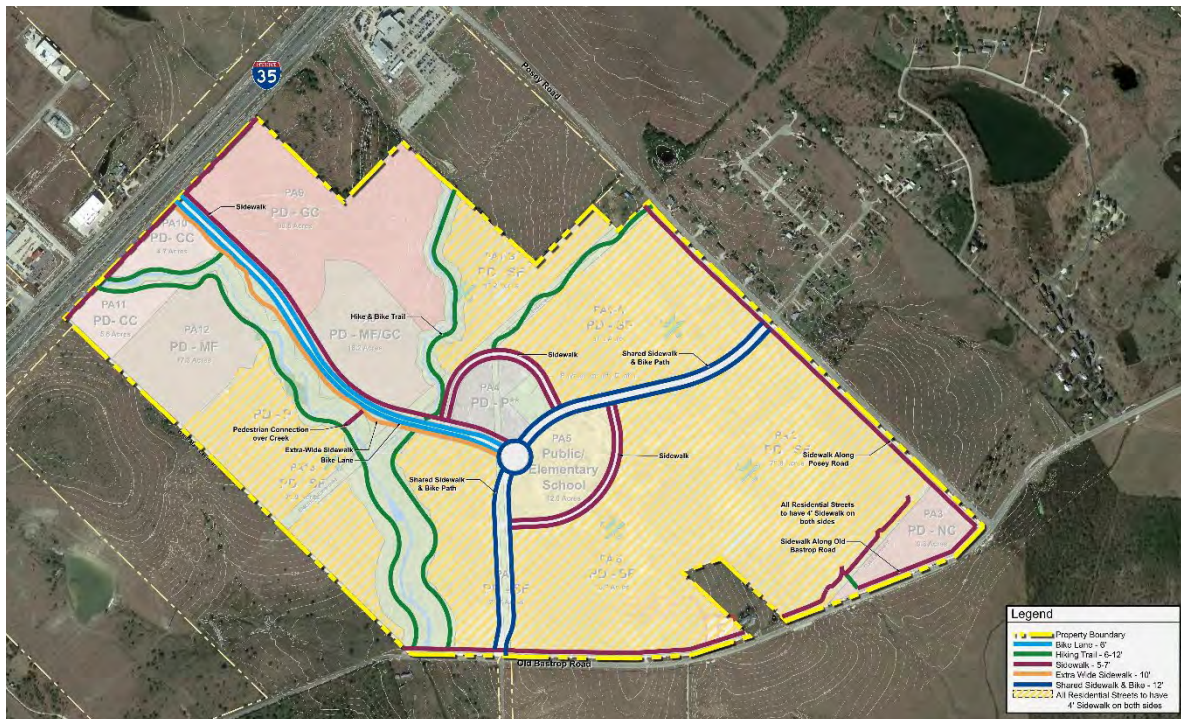
^d – One street tree will be required per lot for all lots 40 feet or less throughout the entire subdivision.

^e – For construction of steeper grades, detailed traffic and environmental studies are required

4.1 Street Section Design

- Driveway access to single family homes shall be prohibited along Street Section AA, BB and CC except for a permitted driveways into the school site and or the central park and amenity center.
- At the time of the Subdivision Concept Plat for Planning Area 9, a roadway shall be provided to connect the Toyota property thru Planning Area 9 to the Commercial /Multi-Family Collector Road (DD). The applicant will show that there will be a north – south connection from the Toyota Property thru Planning Area 9 connecting to the roadway situated between Planning Area 12 and 13. A Traffic Analysis will be provided at that time based on proposed land uses to warrant the size of the right of way as well as the ability to design this Connector Road in either a straight or circuitous manner.
- Commercial block length shall not exceed 1,650'

Illustration 17: Pedestrian Sidewalk / Bicycle Circulation Plan ([UPDATED](#))



Enhanced sidewalks and pedestrian access are provided throughout the Trace project.

- 6 foot bike lane with a 2 foot striped and textured buffer between traffic lane and bike lane
- 6'-12' foot meandering hike and bike trails through the Environmental Buffer Trail System and the Open Space Electrical Easement
- 5 foot sidewalk around the school and central park sites
- **6' sidewalk along Street Section CC**
- 12 foot shared pedestrian and bike path sidewalk along Street Sections AA, BB **and through the center of CC, CC and FF**
- 4 foot sidewalk throughout the residential neighborhoods
- 5 foot sidewalks along Posey Road and Old Bastrop Highway with a 7' street tree area

Illustration 18: Key Map to Street Cross Sections ([UPDATED](#))



Illustration 19: Enhanced Residential Street (Standard) ([UPDATED](#))

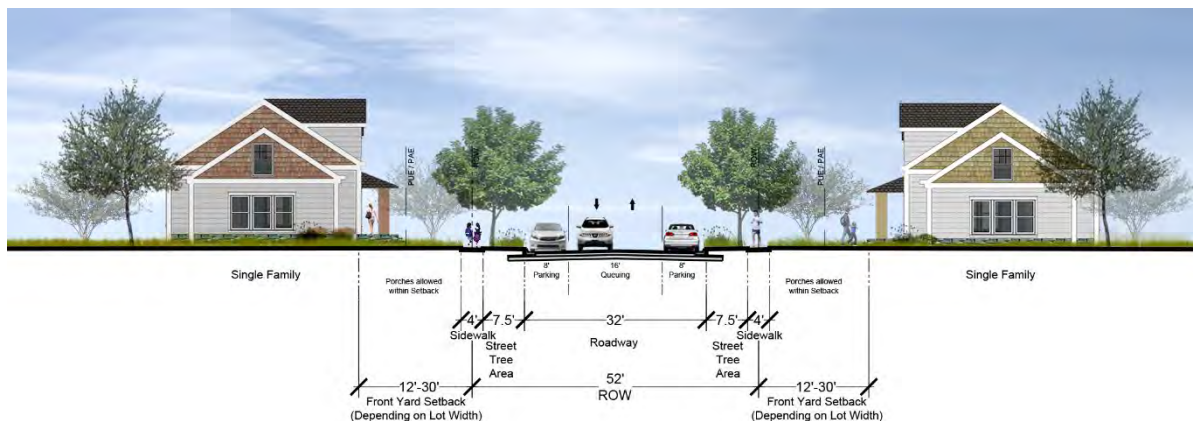


Illustration 20: Enhanced Residential Street (Central Park) (UPDATED)

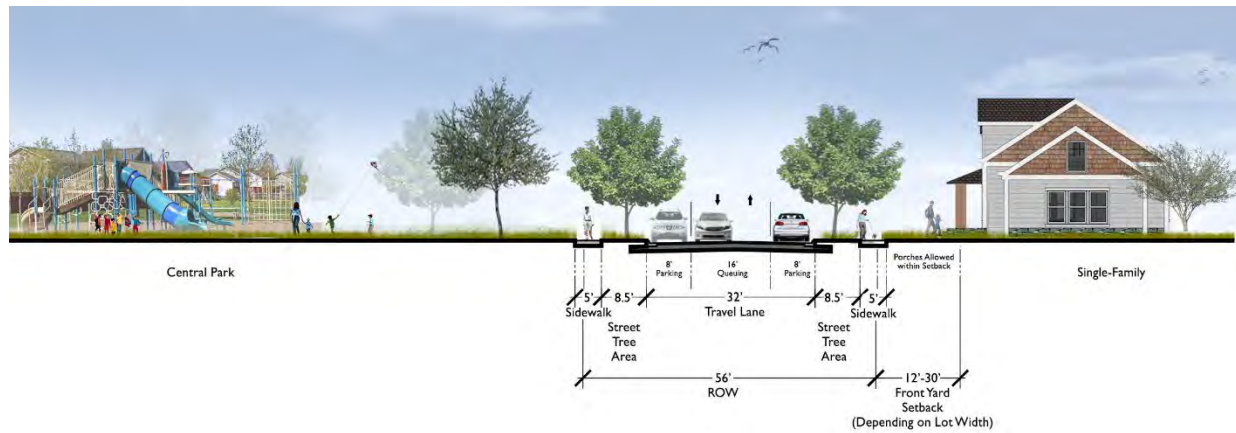


Illustration 21: Enhanced Residential Street (School) (UPDATED)

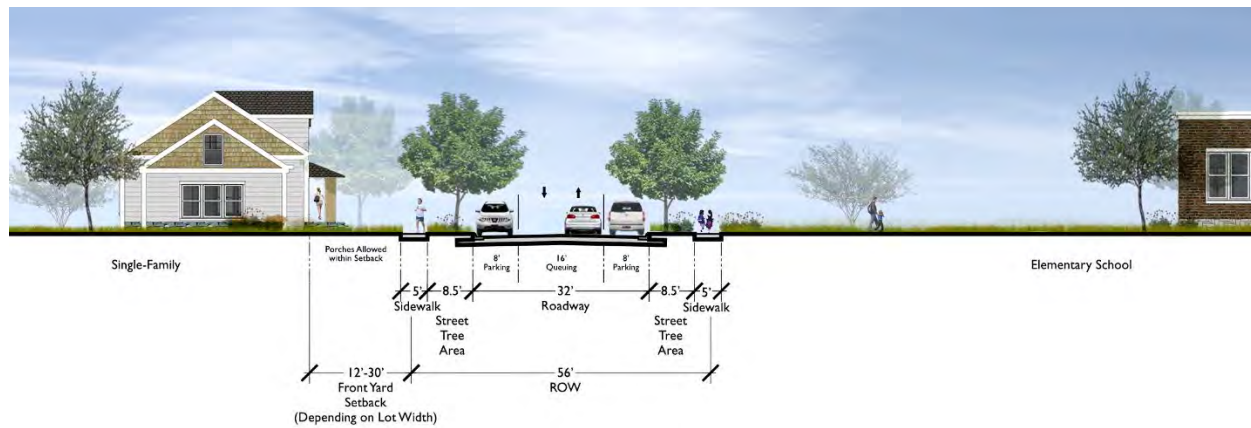


Illustration 22 Enhanced ROW Section AA (UPDATED)

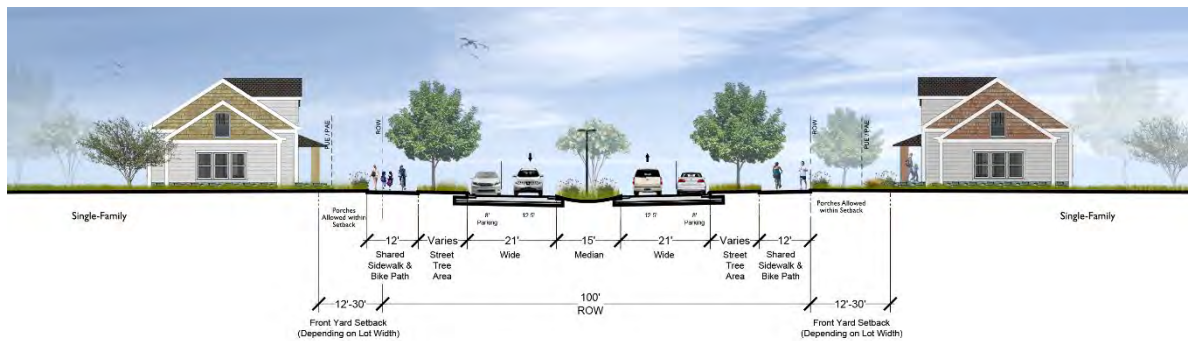


Illustration 23: Plan View Section AA



Illustration 24: Typical Intersection at ROW Section AA (UPDATED)



Illustration 25: Enhanced ROW Section BB (UPDATED)

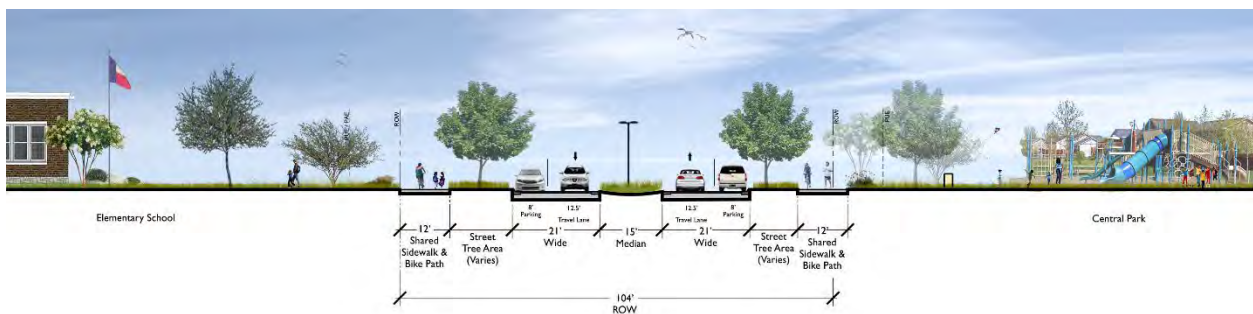


Illustration 26: Roundabout Plan View and Typical Future Bus Stop Plan (UPDATED)



Illustration 27: Enhanced ROW Section CC (UPDATED)

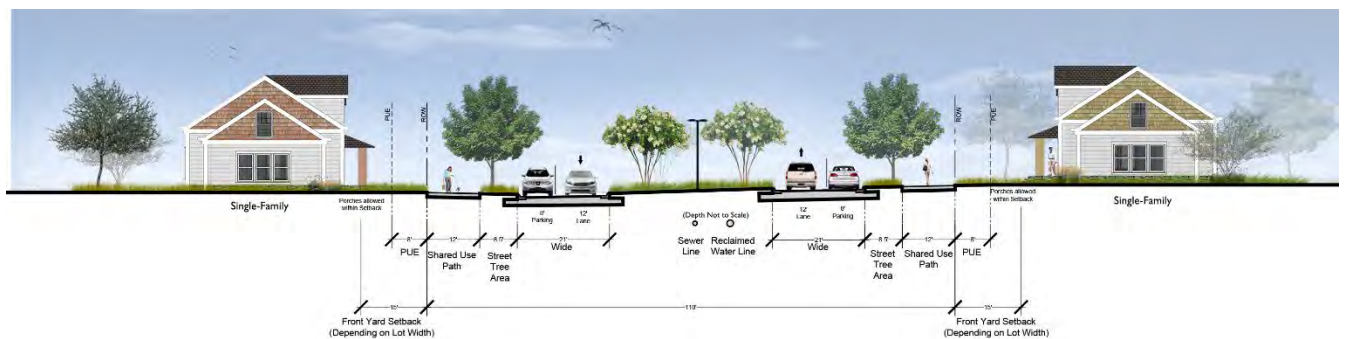


Illustration 28: Plan View of Section CC (UPDATED)



Illustration 29: Typical Intersection at ROW Section CC (UPDATED)



Illustration 30: Enhanced ROW Section DD

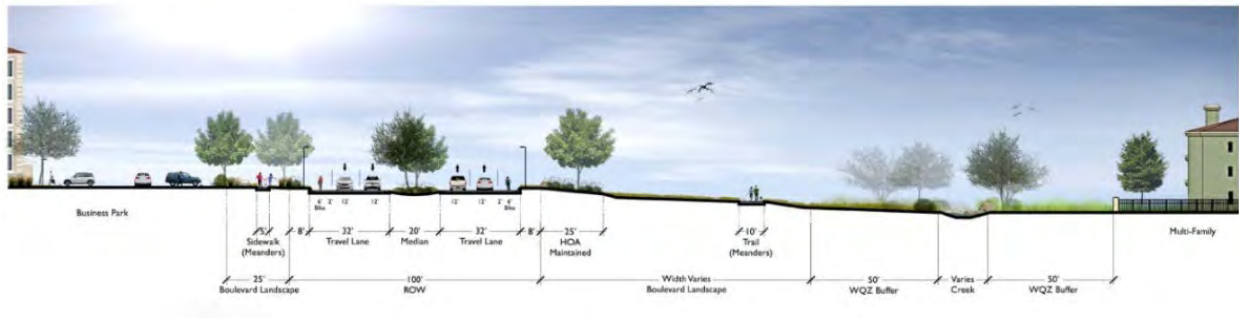


Illustration 31: Enhanced ROW Section EE (UPDATED)

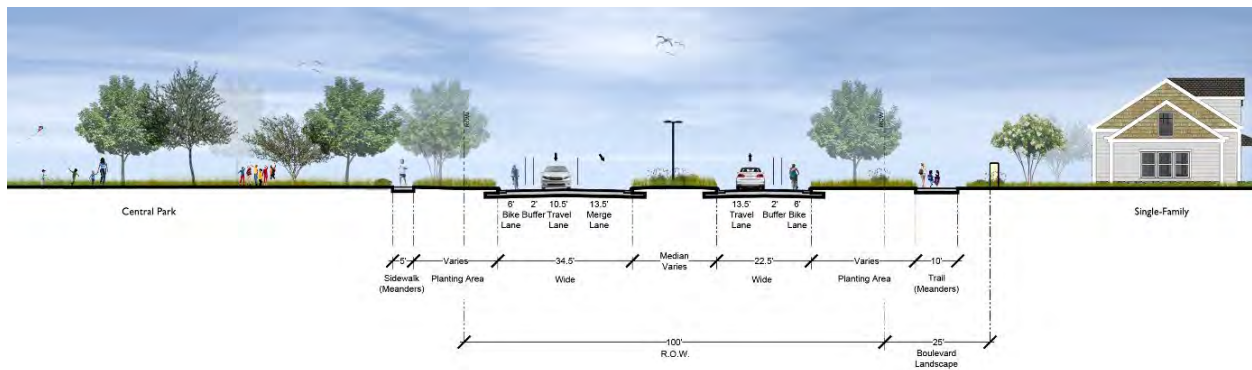
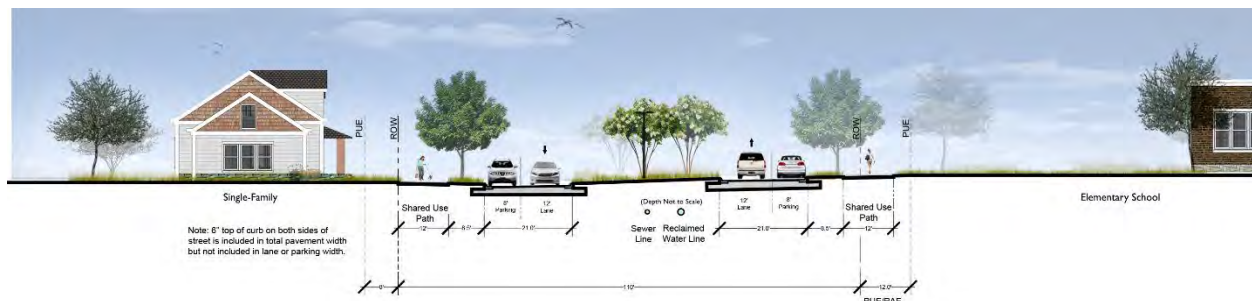
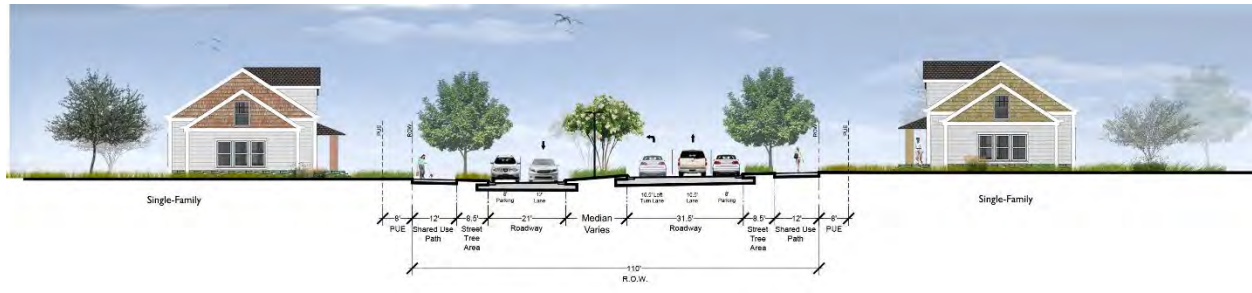


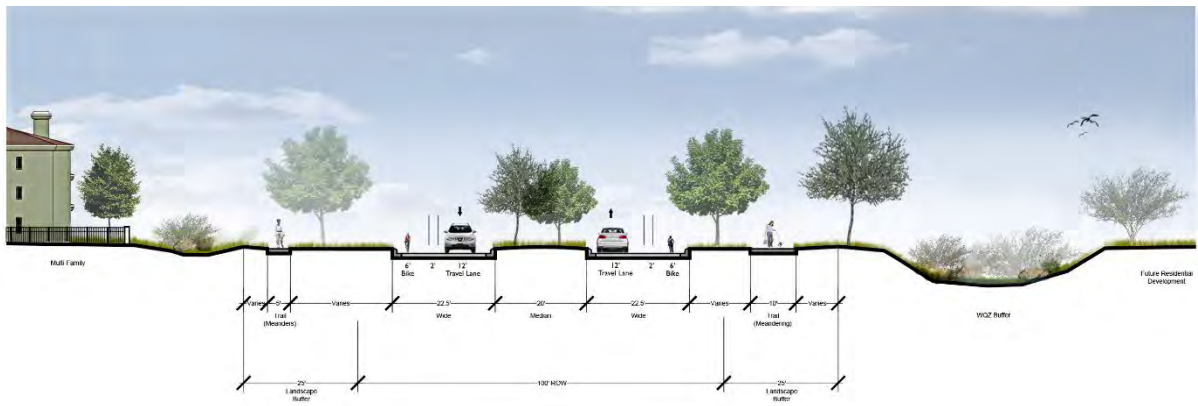
Illustration 31.1 Enhanced ROW Section FF (ADDED)



[Illustration 31.2: Enhanced ROW Section GG \(ADDED\)](#)



[Illustration 31.3: Enhanced ROW Section HH \(ADDED\)](#)



4.2 Cul-De-Sacs

A cul-de-sac is a circular turnaround at the end of a short, dead-end street. The illustration to the right depicts a typical cul-de-sac design for the Trace project.

- Landscape areas shall be provided within the circular area of the cul-de-sac to include at least one (1) street tree of between 2" – 4" caliper.
- Cul-de-sacs shall not be more than 450 feet in length unless it is not feasible to design them in any other length. In no case shall the cul-de-sacs in Trace be designed more than 500 feet in length unless approved by the City Engineer for specific reasons concerning site constraints such as avoidance of environmentally sensitive areas, topography or engineering design.
- Cul-de-sacs shall have a ROW radius of 60 feet.
- Cul-de-sacs shall include sidewalk pedestrian access from the end of the cul-de-sac to the next adjoining street.
- Construction of cul-de-sacs shall include proper signage at the entrance to inform drivers that the street is not a through street.



Illustration 32: Typical Cul de Sac and Alley

4.3 Alleys

Older, traditional urban development in cities prior to World War II used the alley for garage access extensively. With the popularity of the car, alley designed access for garages became almost obsolete. In keeping with a more traditional neighborhood design at Trace, alleys shall be permitted in Trace but not required in every single instance of subdivision design.

- Alleys shall be required adjacent to all lots 40' wide and smaller.
- Alleys shall be a minimum of 20' wide
- Alley loaded product shall be required along the entire length of Street Section AA and Street Section CC.



4.4 Block Lengths

- Residential blocks in Trace shall not exceed eleven hundred (1,100) feet in length nor be less than six hundred (600) feet.
- Commercial blocks in Trace shall not exceed one-thousand six-hundred and fifty (1,650) feet in length.

4.5 Horizontal Alignment

- The horizontal approach to an intersection should be tangent for a length of 50-100 feet.
- The desirable angle of intersection is 90 degree. Intersections skewed at angles less than 80 degrees or more than 100 degrees should be avoided but are allowed within Trace due to specific reasons concerning site constraints such as avoidance of environmentally sensitive areas, topography or engineering design.

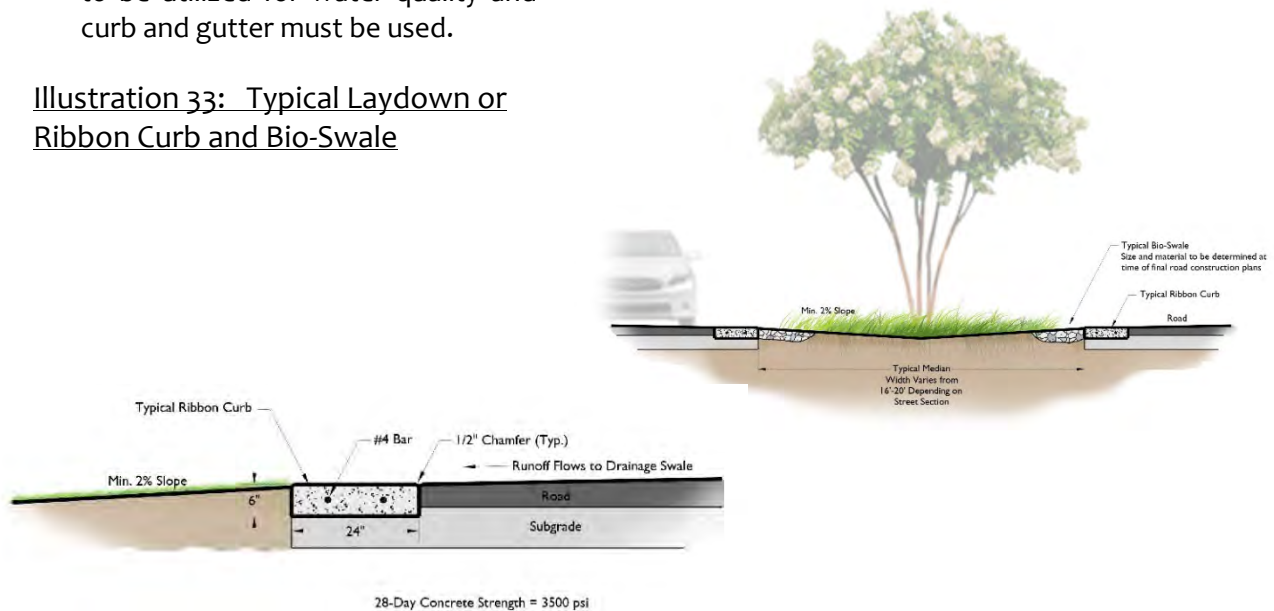
4.6 Street Trees

- Street trees shall be provided along Street Sections AA, BB, CC, DD and EE at one (1) shade tree per 30 lineal feet of street frontage. Shade trees shall range in caliper size of 2" to 4" with an average caliper size of 3" and be spaced at 30' on center.
- Street trees shall be provided along Enhanced Residential Streets at one (1) shade tree per 50 lineal feet of street frontage, as required by Section 6.1.1.4(2) of the LDC. Shade trees shall be a minimum caliper size of 2".
- Along Street Sections AA, BB, CC, DD, EE, [FE](#), [GG](#) and [HH](#) ornamental trees shall be provided at one (1) ornamental tree per five (5) shade trees and be of a minimum caliper size of 2".
- Street trees shall be provided within the median of Street Sections AA, BB, DD, and EE at one (1) ornamental tree per 30 lineal feet of street frontage; minimum of 2" caliper.
- Street trees shall be provided within the median of Street Sections CC at two (2) trees per 30 lineal feet of street frontage; minimum of 2" caliper. A minimum of 50% of required street trees may be ornamental. However, this requirement may be lessened or decreased at the discretion of the Director of Engineering and Capital Improvements.
- Trees installed along Street Sections AA, BB, CC, DD, EE, [FE](#), [GG](#), and [HH](#) and maintained by the HOA, will be watered with an HOA installed, monitored and maintained irrigation system. The trees will be watered by bubblers (2/shade tree and 1/ornamental tree).
- On single family lots 40 feet in width or less, two shade trees are required per lot by Section 6.1.1.4(d) (1); one of these trees may count towards the one required street tree.
- One street tree will be required per lot for all lots 40 feet or less throughout the entire subdivision.
- Street trees located along Enhanced Residential Streets shall be installed at the time of construction of improvements by the builder and shall be warrantied by the builder for a minimum period of 2 years.
- Street trees shall be provided along all Posey Road and Old Bastrop Road frontage at a rate of one (1) tree per 50 feet of linear frontage.

4.7 Bio-Swales

- The Residential Collector roads within Trace shall have landscaped medians which can offer a unique approach to water quality. Medians shall be inverted and will capture runoff from all ROW, as the inside curb of both sides of traffic will be of the laydown or ribbon variety. This will allow the roadway to sheet flow into the median, where vegetated infiltration strips can be utilized to treat runoff. However, in cases where road grades exceed 8.5%, it is not feasible for the medians to be utilized for water quality and curb and gutter must be used.

Illustration 33: Typical Laydown or Ribbon Curb and Bio-Swale



Section 5 Site Design

5.1 Dimensional and Lot Standards

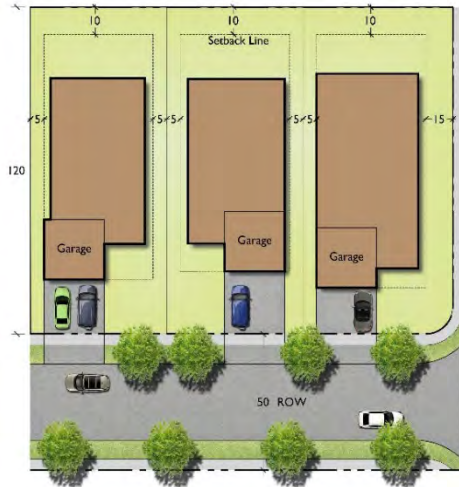
The following Lot and Dimensional Standards shall apply to the Property and the Project in order to result in a higher quality development for the community. These Standards modify the requirements of the City Code. The ***bold italicized*** standards are exceptions to the City's required dimensional and lot standards. Two new types of lots are permitted in the Trace Master Plan to allow for a variety of different types of housing. Except and unless expressly varied by these PDD Standards, the Property and the Project shall be subject to all applicable requirements of City of San Marcos ordinances, zoning regulations and Land Development Code ("LDC") (collectively, the "Base Regulations").

STANDARD CATEGORY	SF-6	SF-4.5	<i>SF-ALLEY LOADED 32'</i>	<i>SF-ALLEY LOADED 40'</i>	<i>SF-ALLEY LOADED TH</i>	PH-ZL
Lot/Parcel Area Minimum Sq. Ft.	6,000	4,500	<i>3,500</i>	<i>4,400</i>	2,500	4,000
Units per Acre Maximum/Gross Acre	5.5	7.5	<i>10.0</i>	<i>8.0</i>	6/12	7.5
Lot Frontage, Minimum Feet	35	35	N/A	N/A	25	35
Lot width, Minimum Feet	50	40	<i>32</i>	<i>40</i>	25	40
<i>Front yard Setback, Range in Feet</i>	<i>20' to 30'</i>	<i>17' to 23'</i>	<i>12' to 18'</i>	<i>12' to 18'</i>	<i>17' to 23'</i>	<i>17' to 23'</i>
Side Yard Setback, Minimum Feet, Interior	5	5	5	5	0	0/10
Side Setback, Minimum Feet, corner	15	15	<i>10</i>	<i>10</i>	10	10
Rear Yard Setback, Minimum	20 <i>10</i>	<i>10</i>	<i>3'</i>	<i>3'</i>	<i>3'</i>	10
Lot Depth, Minimum Feet	100 <i>120</i>	90	110	110	N/A	85
Impervious Cover, Max %	50%	60%	<i>80%</i>	<i>80%</i>	<i>80%</i>	75%
Building Height, Maximum Stories	2	2	<i>2</i>	<i>2</i>	2	2

¹ **Rear Yard Setback** - This rear yard setback is measured from the garage door to the edge of the alley pavement.

A concise checklist shall be developed with Planning Department Staff to enforce architectural regulations and site plan regulations and to provide efficient staff review at the time of permit/ plan review. This concise checklist shall be completed prior to the first Concept Plat submittal.

Illustration 34: Typical Lot Layouts SF-6 – 50', 60' and 70' wide Lots

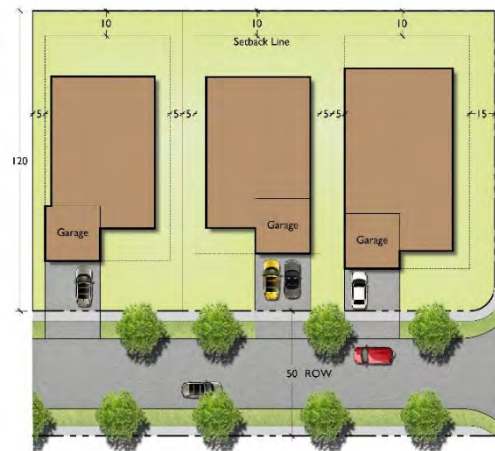


SF-6 50' Wide Single Family Lots

Min. Lot Size	6,000 SF
Lot Width:	50'
Lot Depth:	120'
Front Yard Setback:	Range 20' to 30' (Avg. 25')
Side yard Setback:	5' (15' Corner Lot)
Rear yard Setback:	10'
Attached Garage:	Yes
Alley:	No

SF-6 60' Wide Single Family Lots

Min. Lot Size	7,200 SF
Lot Width:	60'
Lot Depth:	120'
Front Yard Setback:	Range 20' to 30' (Avg. 25')
Side yard Setback:	5' (15' Corner Lot)
Rear yard Setback:	10'
Attached Garage:	Yes
Alley:	No



SF-6 70' Wide Single Family Lots

Min. Lot Size	8,400 SF
Lot Width:	70'
Lot Depth:	120'
Front Yard Setback:	Range 20' to 30' (Avg. 25')
Side yard Setback:	5' (15' Corner Lot)
Rear yard Setback:	10'
Attached Garage:	Yes
Alley:	No



Illustration 35: Typical Lot Layouts SF-4.5 – SF Alley Loaded 32' and SF Alley Loaded 40'

SF-Alley Loaded 32' Wide Single Family Lots

Min. Lot Size 3,500 SF
 Lot Width: 32' – 34'
 Lot Depth: 110'
 Front Yard Setback: Range 12' to 18' (Avg. 15')
 Side yard Setback: 5' (10' Corner Lot)
 Garage Setback
 from Alley: 3'
 Garage: 21' x 19' or
 21' x 17' Pad
 Alley: Yes – 20' wide
 Porch: Min. 8' Setback from ROW



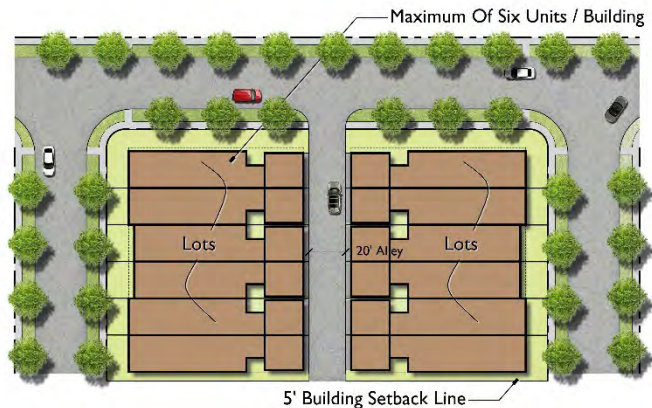
SF-Alley Loaded 40' Wide Single Family Lots

Min. Lot Size 4,400 SF
 Lot Width: 40'
 Lot Depth: 110' Min.
 Front Yard Setback: Range 12' to 18' (Avg. 15')
 Side yard Setback: 5' (10' Corner Lot)
 Garage Setback
 From Alley: 3'
 Garage: 21' x 19' or
 21' x 17' Pad
 Alley: Yes – 20' wide
 Porch: Min. 8' Setback from ROW

Illustration 36: Typical Lot Layouts Townhome – Patio Home-Zero Lot Line

SF-Alley Loaded Townhome

Min. Lot Size 2,500 SF
 Lot Width: 25' – 30' (corner)
 Lot Depth: 100'
 Front Yard Setback: Range 17' to 23' (Avg. 20')
 Sideyard Setback: 10' Corner Lot
 Garage Setback
 from Alley: 3'
 Alley: Yes – 20' wide
 Porch: Min. 8' Setback from ROW





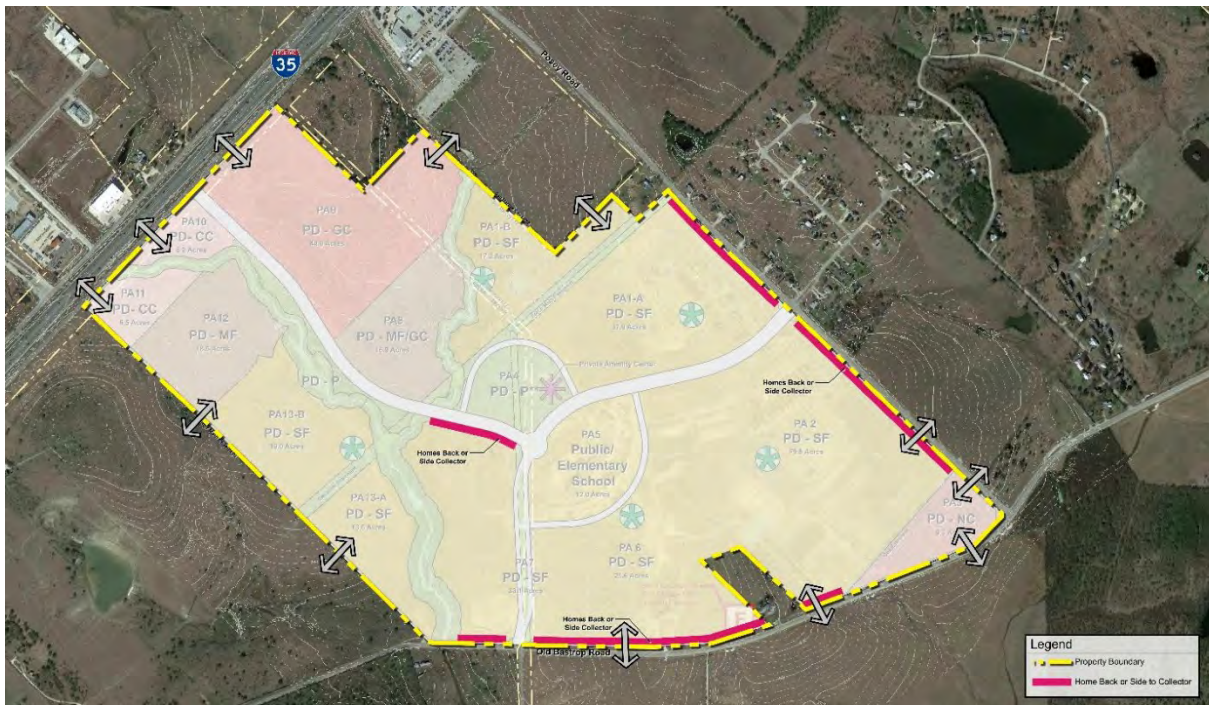
Patio Home – Zero Lot Line Alley Loaded

Min. Lot Size	4,000 SF
Lot Width:	40'
Lot Depth:	85' Min. - 100' Typ.
Front Yard Setback:	Range 17' to 23' (Avg. 20')
Side yard Setback:	0/10'
Rear yard Setback:	10' if front loaded
From Alley:	3'
Garage:	21' x 19'
Alley:	Yes – 20' wide

5.2 Site Design

- No house will back up to nor take driveway access from Street Sections AA, BB, or CC.
- All lots 40' wide and less, shall not have front loaded garages and shall be alley loaded.
- Individual houses shall be allowed to back up to Posey Road, Old Bastrop Highway and a portion of Road Section EE as shown on Illustration 37.
- A concise checklist shall be developed with Planning Department Staff to enforce architectural regulations and site plan regulations and to provide efficient staff review at the time of permit/plan review. This concise checklist shall be completed prior to the first Concept Plat submittal.

Illustration 37: Areas where Houses May Back-up to a Public Street



Section 6: Architectural Design

6.1 Single Family Residential

Except for the standards outlined below, the Property and the Project shall be subject to the existing City Code of Ordinances, Subpart B – Land Development Code, Chapter 4, Article 2, Division 1 – Section 4.2.1.5 - SF-6, Single-Family District; Section 4.2.1.6 - SF-4.5, Single-Family District; Section 4.2.1.9 - TH, Townhouse Residential District; and Section 4.2.1.10 - PH-ZL, Patio Home, Zero-Lot-Line Residential District Design Standards attached in Appendix.

The Standards outlined below reflect superior requirements than the existing City Code of Ordinances. If the provisions of the standards below are inconsistent with provisions found in the existing City Code of Ordinances, the standards below shall control. Trace shall require the following Single Family Residential Architectural Standards.

- A concise checklist shall be developed with Planning Department Staff to enforce architectural regulations and site plan regulations and to provide efficient staff review at the time of permit/plan review. This concise checklist shall be completed prior to the first Concept Plat submittal.

6.1.1 Variation

- Each block face shall contain a mix of one and two story units.
- [In a block face](#) a maximum separation of 3 units shall be maintained between one and two story units.
- Each block face shall contain a variety of building elevations with no more than two of the same building elevation on repeating floor plans.
- [Within a block face](#) variety in building elevations shall be achieved along the main façade by utilizing a minimum of two (2) of the following: balcony, porch, dormer window, bay window, and/or single car garage bays.
- [Within a block face](#) a separation of at least 4 lots shall be maintained for any floor plan with repeating elevations.
- Each block face shall contain variety in primary roof design of single family residential homes.
- A variety of architectural styles shall be encouraged within all of Trace.
- Each block face shall contain a mix of homes with varied colors. A minimum separation of at least 3 units shall be maintained between repeating houses with similar paint color. Color variation may be achieved through a change in primary material.

6.1.2 Form & Scale

- A minimum of two of the following architectural details shall be required along all facades fronting and siding-up to a public street: decorative roof eaves, decorative columns and/or supports, belt courses, cornice, porch railings, window boxes, decorative window and door surround or similar architectural details that provide scale and visual interest.

- At least one of the following architectural details shall be required on houses which back up to a public street: decorative roof eaves, decorative columns and/or supports, belt courses, cornice, porch railings, window boxes, decorative window and door surround, [decorative attic vents/windows](#), [dormers](#), [bay windows](#), [shutters](#), [corbels](#), [shed roof over windows](#), or similar architectural details that provide scale and visual interest.



- Houses on corner lots shall be sited and designed so that they present attractive elevations to both streets. Wrap around porches, façade compositions, building and landscape elements and/or other design schemes should be employed. [Enhanced landscape and/or wrap around stoop without a cover may be employed. Corner lots with an open space lot between it and the side yard street shall not require the wrap-around porch.](#)

Specific to Attached Single Family Residences

- May appear as “big houses” or as an individual attached unit with distinctly different facades and roof forms
- Monolithic and/or repetitive forms are not permitted.

6.1.3 Roof Design

- Primary roof structures shall employ gabled roofs, hipped roofs, dormered roofs or gambrel roofs. Additional variation shall be achieved with gabled roofs by employing a mix of front/rear facing gabled roofs and side facing gabled roofs as the predominant roof structure type.

Side and front gable combination



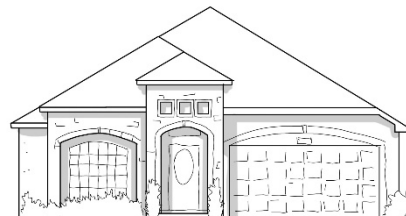
Front Gable



Hip and gable combination



Varied Hip



- Secondary roof projections, such as porches, shall employ similar roof types and variation.
- ~~Variation in roof color or material shall be employed.~~ [Roof material shall employ color variation.](#)
- Variation in ridgeline and eave height shall be employed between various floor plans or models but are not required between elevations of the same floor plan.

6.1.4 Porches

- All entrances that face a public street shall have a covered entry which is not considered a porch. One and one half story covered entries shall be allowed.

1-1/2 Story Covered Entry



- If front porches are utilized, they shall be a minimum of 6 feet in any direction and have a minimum of 60 square feet.
- If a porch is utilized on a corner lot, the porch shall wrap around the corner of the house, shall be a minimum of 6 feet deep from house to porch front and shall contain a minimum area of 120 square feet. [The wrap around portion of a porch may be covered or an uncovered stoop/patio.](#)
- Two story front porches shall be allowed. The second story porch shall have a useable floor and a roof covering. Second story porches may be screened or un-screened.

Example of a two story porch with decorative railings above



6.1.5 Materials & Color

- A variety of materials for siding on homes shall be used. Combinations of board & batten, painted metal siding, brick, stone, stucco, horizontal lap siding (wood or hardiplank), clapboard, shake or shingle siding can be used. Fiber cement siding shall be allowed for horizontal lap siding, clapboard and shake or shingle siding only.

An Example of brick, stone, stucco and hardiplank siding as well as great variation in roof design



- Heavier materials shall occur below the lighter materials to accentuate the base of the home.
- For each home, multiple colors shall be employed to differentiate between façade elements such as primary surfaces, trim, doors and windows in order to provide visual interest.
- Exterior chimneys shall be clad with brick, stone, or stucco.

- When more than 12" of foundation is visible then exposed foundation shall be covered with masonry, painted or finished with stucco. Where this applies, at the front of a house or on a corner lot, the exposed foundation at the two sides facing the street shall be covered with masonry.

6.1.6 Garages, Pool Equipment, Trash containers, Misc. Accessory Structures

- Detached garages can be utilized. 30% of two car garage doors shall have windows within the door and the remaining 70% shall have decorative hardware or designer doors.
- On all lots 50' wide or more, no more than 50% of all garage fronts shall be set in front of the plane of the porch, entry, or livable area of the house as shown in Illustration 37.1, example number 2 and 4. The remaining 50% of lots shall have the garage fronts either equal to or set back from the front plane of the porch, entry, or livable area of the house as shown in Illustration 37.1, example number 1, 3, 5, and 6.

Illustration 37.1: Garage Front Diagram (ADDED)



- Pool and air conditioning equipment on corner lots shall be located on an interior side property line or behind solid back yard fencing.
- Trash and waste containers shall be located within the garage and/or an area in the rear yard screened from public view. Small fenced-in areas containing only the trash receptacles will be allowed in the alley areas if those lots are designed in the project.
- Utility structures for individual houses or along streets shall be screened in accordance with screening guidelines in Section 8 Screening and Fencing.
- Main house entrances or individual unit entrances shall be well lit and easily accessible. Garages on alleys shall have at least one carriage light per garage.
- Accessory buildings, if built or placed upon the individual lots, shall be subject to review by the architectural committee of the HOA.

6.1.7 Requirements for Accessory Dwelling Units

- The maximum height of the accessory dwelling unit shall not exceed 24 feet.
- The maximum square footage of the habitable area of the accessory dwelling unit shall be limited to 1/2 the habitable area of the primary building or 1,000 square feet, whichever is smaller.
- One additional on-site parking space located within the second or third layer of the lot shall be provided.

6.2 Multi Family Residential

Except for the standards outlined below, the Property and the Project shall be subject to the existing City Code of Ordinances, Subpart B – Land Development Code, Chapter 4, Article 4, Division 3 – Multi Family Residential Design Standards attached in Appendix. [The use of “Senior/Age Restricted Dwelling Apartments Senior Housing Apartments” shall be subject to this Section 6.2.](#)

The Standards outlined below reflect superior requirements than the existing City Code of Ordinances. If the provisions of the standards below are inconsistent with provisions found in the attached existing City Code of Ordinances, the standards below shall control.

6.2.1 Variation

- For any street frontage containing at least three (3) and not more than (5) buildings (excluding clubhouses/leasing offices), there shall be at least three (3) distinctly different building designs.
- For all street frontages, there shall be no two (2) similar buildings placed next to each other along a street.

6.2.2 Building Design

- Combinations of two and three story; three and four story; or two, three and four story buildings shall be used to create visual building variation and roof lines.
- Where a maximum building height of two stories is proposed, two story buildings shall be allowed as the only required elevations without three and four story requirements.
- Where a maximum building height of two stories is proposed, visual variation in buildings and roof lines shall be achieved through variations in roof height, form, pitch, size, orientation, and offsets.

6.2.3 Roof Design

- A variety of roof modulations including turrets, dormers, cross gables, side and front gables, dual pitched roofs, cupolas, fenestrations and exposed rafters shall be used to create roof variations within any one building.

6.2.4 Lighting

- Main building entrances or individual unit entrances shall be well lit and easily accessible.

6.2.5 Miscellaneous

- This Multi-Family Residential District shall not have “rent by the individual bedroom” apartments.

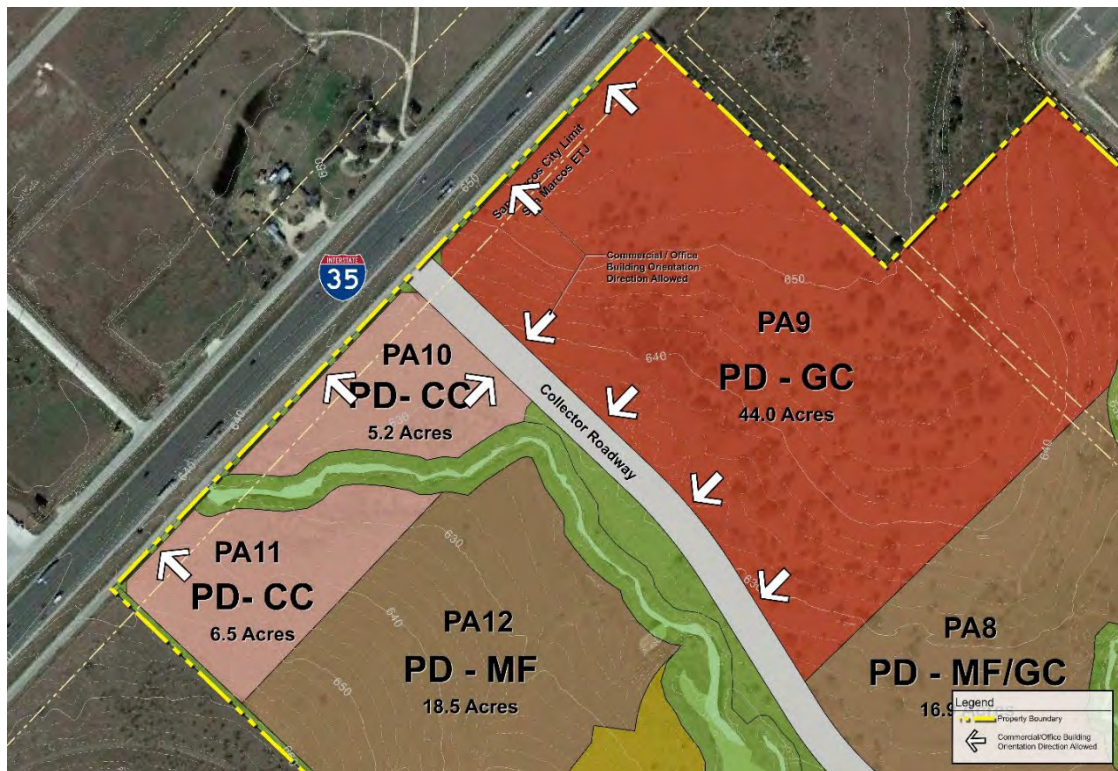
6.3 Commercial

Trace shall require the following Commercial Architectural Standards. In order to ensure the aesthetic value and visual appeal of the City to residents and to visitors and potential businesses, the standards and criteria contained within this section are established as minimum standards. These standards shall apply to all construction (new, altered or repaired). Portions of building elevations that are not generally visible from public view (streets, trails, parks or similar property) are exempt from these requirements.

6.3.1 Orientation

- Buildings should respond to the orientation of neighboring buildings within the commercial areas and to neighboring uses. i.e commercial to commercial or commercial to multi-family
- Buildings may back up to I-35 provided they are screened and setback appropriately.
- Buildings may be oriented towards I-35 but should also be oriented to the Collector Roadway as shown on Illustration 40: Allowable Commercial Orientation.
- In no case shall the rear of a building back up to a Collector Roadway.
- In some cases, such as corner lots, buildings will have more than one orientation and shall require more than one entry treatment.
- Buildings located on a corner shall be oriented toward the corner.

Illustration 38: Allowable Commercial Orientation



6.3.2 Form & Scale

Horizontal Articulation: (All facades visible from public view)

- Facades shall be broken up into vertical bays of 40-50 feet. Bays shall be articulated by pilasters, piers, and change in material texture, color, or variation in wall plane.
- Change in wall plane and material must occur every 50 to 80 feet.
- Buildings located on corners should employ a change in wall plane to address the corner.

Vertical Articulation: (All facades visible from public view)

- Buildings shall have a clearly defined three part façade consisting of a base, middle, and top, which contribute to the human scale of the building.

- Architectural details employed in the three part façade shall include a minimum of three (3) of the following: water tables, string course, sign band, cornice, display windows, overhanging eaves, change in color, change in material, change in texture, or fenestration.
- Multi-Story buildings shall also employ a pattern of windows for the middle and upper section(s)".
- For single story buildings with exceptionally high ceiling plate, such as the case with large format retail, a string course shall be employed at a typical 2nd floor plate of 15-20 feet.
- Changes in height shall be employed at locations where wall plane is modulated.
- Buildings located on corners should employ a change in wall height to address the corner.

Ground Level Articulation: (All facades visible from public view)

- Where there is a retail use, ground floor facades shall have arcades, display windows, entry areas, awnings, and other features no less than 50% of their entire length.
- Where there is an office use, ground floor facades shall have entry areas, awnings, and other features no less than 25% of their entire length.

6.3.3 Roof Form

- Gabled, hipped, or other sloped roof forms that relate to residential human scale, are encouraged.

6.3.4 Entries

- Entries should be clearly defined and highly visible.
- Entry articulation shall be the most prominent element of the façade.
- Entry features shall include a minimum of two (2) of the following: awnings, porches, porticos, arcades, colonnades, change in massing, change in wall plane, or change in roof forms.
- Multi-Story entry elements are permitted but must provide habitable space on upper floors.

6.3.5 Materials

- Buildings shall be clad with glass, steel, architectural metals, and/or masonry materials such as decorative/textured split face concrete block, brick, stone, or cement stucco.
- Synthetic stucco materials, such as Exterior Insulation and Finish Systems (EIFS) and composite materials such as cementitious fiberboard (hardiplank), should be limited to no more than 20 percent of the total area of each façade, not including doors and windows.
- Permitted Materials for Roof Construction. The following materials are permitted for roof construction: Copper, Metal sheet roofing, Tile – Concrete or Clay, A Commercial Flat (built up) Roof and/or Composition Roof.

6.3.6 Exterior Site Design Requirements for Commercial Areas

These areas shall be enhanced through specific urban design regulations, including:

- Pedestrian activities such as "al fresco" dining along the sidewalk should be promoted to enhance the character of the commercial area.
- Create pedestrian areas that encourages pedestrian activity while accommodating vehicular requirements.

- The use of pedestrian promenades characterized by outdoor plaza elements between commercial buildings should create unity, cohesiveness and a sense of space while promoting walkable pedestrian activity centers.
- Commercial building entries should incorporate pedestrian elements and amenities such as seating, lighting, and hardscape elements that help create or enhance special pedestrian areas.
- Detention Location and Design for Commercial Areas shall be held to the highest standard of the Stormwater Technical Manual, Appendix N, on file with the City of San Marcos.

6.3.7 Lighting for Commercial Areas

The intent is to enhance day and night time appearances, establish a safe environment for occupants and employees and minimize light pollution, while minimizing glare and light trespass onto adjacent properties. The lighting of all parking areas, pedestrian walkways, entrances, and exterior portions of the site shall be designed for its specific task and shall comply with the provisions of the existing City Code of Ordinances, Subpart B – Land Development Code, Chapter 6, Article 5 attached in the Appendix.

- Lighting shall be: vandal-proof; compatible with building architecture; and, scaled (dimension and intensity) to complement its location context.
- Lighting shall not be obscured by landscaping.

6.3.8 Detention Location and Design for Commercial Areas

- Commercial developments shall be held to the highest standard of the Stormwater Technical Manual, Appendix N, on file with the City of San Marcos.

6.3.9 Refuse and Recycling Dumpsters for Commercial Areas

The intent is to provide convenient access to dumpsters for occupants to reduce littering and outside storage of trash.

- Equal Amenities - Equal amenities shall be provided for trash and recycling.
- Location - All commercial developments shall provide both trash and recycling dumpsters located next to each other. Both shall be located within 500 feet of the back entrance to each ground floor unit measured from the back entrance of the unit and along improved pedestrian paths. The Director may allow alternate facilities, such as chutes, provided that the request is determined to have met the intent of this Section.

Section 7: Parking and Access

7.1 Design

- Large parking areas over 100 spaces shall be divided into smaller “parking blocks” by establishing a clear pattern of internal streets spaced no less than 500 feet apart. Internal streets shall incorporate pedestrian and landscape amenities such as street trees and sidewalks.
- Curbed landscape islands shall be located at the end of each parking block and within each parking aisle at intervals of no greater than one island per 10 spaces. Each landscaped island shall be a minimum of 280 square feet.

- Where appropriate, use formal streetscape treatments such as parkway strips between street and sidewalk, regularly spaced canopy trees, and special paving to denote pedestrian zones.
- Pedestrian ways will be provided within large parking areas, and spaced no less than 500' apart. Pedestrian ways will be wide enough for at least an 8' pedestrian walk with supplemental landscaping for shaded pedestrian access from the parking lot to the surrounding buildings with limited interaction with auto traffic.
- When possible these internal parking medians will also assist in water quality and drainage by employing bio-swale and/or rain garden techniques.

7.2 Access

- Mutual access shall be required between all parking areas.
- Lots with under 250 feet of frontage shall gain access from internal parking lot streets.

Section 8: Screening and Fencing

Trace will employ a variety of screening and fencing types in response to the location and visual exposure to public view.

8.1 Service and Loading Area Screening

- Service and loading areas must be oriented away from public view from collector streets and/or primary parking areas.
- Services and loading areas must be concealed by screens at least as high as the equipment they hide and of color and material matching or compatible with the colors and material found on the façade of the primary building.

8.2 Mechanical Equipment Screening for Commercial Areas

The intent is to place equipment in less visible locations and obscure them from view while maintaining a safe environment.

- Rooftop mechanical equipment shall be hidden or screened with architecturally integral elements at least as high as the equipment to be screened. Parapet roof structures are approved for screening such equipment.
- Mechanical equipment at ground level shall be concealed by screens at least as high as the equipment they hide and of a color and material matching or compatible with the colors and material on the façade of the primary building. Screening may include architecturally integral wing walls and/or landscaping.
- Wall mounted equipment shall be screened with compatible materials and/or painted to match the structure.
- Mechanical equipment shall be located where their acoustics will not be disruptive to occupants or residents.
- All utilities shall be screened from streets and passageways.
- Screening of all electric utilities shall meet the minimum requirements of San Marcos Electric Utility or applicable electric provider's guidelines for granting safe access to equipment for operation and maintenance and for ventilation and cooling.

8.3 Parking Area Screening

- Perimeters of parking areas adjacent to public right of way must be landscaped with

- shrubs reaching mature height of at least three feet and spaced a maximum of five feet on center or,
- trees planted 30 feet on center or,
- in combination with a decorative 3 foot high fence with vines planted every 10' on center.

8.4 I-35 Frontage Screening

- Buildings and service and loading areas backing up to I-35 frontage must be screened with a minimum six foot tall masonry fence with pilasters at a spacing no greater than 12 feet and shrubs reaching a mature height of at least three feet and spaced a maximum of five feet on center and trees planted between 15 and 35 feet on center.

8.5 Other Screening

- Along prominent public views (Posey Road and main spine roads) full masonry or a combination of masonry and durable opaque fence (capped, stained board on metal post or capped, stained concrete type fence) will be used.
- Along perimeters that front on less prominent public views, stained, capped full wood or stained, capped concrete type fences will be used.
- On lots that back to substantial open space metal view fences will be used. In areas where privacy might be a concern, a masonry knee wall (approximately 2' height) would be used and the remaining 4' would be installed as view fence.
- All fencing built throughout the project shall be consistent with design and materials between neighborhood and/or planning areas.
- Internal neighborhood fencing will be capped, stained board on metal fencing for side lots facing streets. Side yard fencing will be standard board fencing by builders.
- If a nonresidential use is adjacent to a residential use other than multiple-family, such nonresidential use shall be screened in accordance with. Non Residential and Multi-Family Screening Required (New Construction).

8.6 Refuse and Recycling Dumpsters Screening for Commercial Areas

- Screening shall be designed to reduce the escape of trash. Material and design shall be consistent with the primary building.
- All refuse and recycling dumpsters shall be screened from view from the street or public rights-of-way with landscaping or fencing at least as high as the dumpster
- Approved screening techniques include privacy fences, evergreen vegetative screens, landscape berms, existing vegetation or any combination thereof. In any case in which a fence/wall is constructed to provide screening, landscaping elements shall be incorporated along a majority of the fence/wall.

Section 9: Landscaping and Environmental

9.1 Landscape Standards

The Development shall comply with 6.1.1.4. Required Landscape Standards attached in the Appendix. If the provisions of the standards below are inconsistent with provisions found in the attached existing City Code of Ordinances, the standards below shall control.

9.1.1 Street Trees

- Street trees shall be provided along Street Sections AA, BB, CC, DD and EE at one (1) shade tree per 30 lineal feet of street frontage. Shade trees shall range in caliper size of 2" to 4" with an average caliper size of 3" and be spaced at 30' on center.
- Street trees shall be provided within the along Enhanced Residential Streets at one (1) shade tree per 50 lineal feet of street frontage, as required by Section 6.1.1.4(2) of the LDC. Shade trees shall be a minimum caliper size of 2".
- Along Street Sections AA, BB, CC, DD and EE ornamental trees shall be provided at one (1) ornamental tree per five (5) shade trees and be a minimum caliper size of 2".
- Trees installed along Street Sections AA, BB, CC, DD and EE and maintained by the HOA, will be watered with an HOA installed, monitored and maintained irrigation system. The trees will be watered by bubblers (2/shade tree and 1/ornamental tree).
- On all single family lots ~~40 feet in width or less~~, two shade trees are required per lot by Section 6.1.1.4(d) (1); one of these trees may count towards the one required street tree.
- One street tree will be required per lot for all lots 40 feet or less throughout the entire subdivision.
- Street trees located along Enhanced Residential Streets shall be installed by the builder and shall be warrantied by the builder for a minimum period of 2 years.
- Street trees shall be provided along all Posey Road and Old Bastrop Road frontage at a rate of one (1) tree per 50 feet of linear frontage.

9.1.2 Parking Lot Trees

- One parking lot tree shall be provided per 10 spaces.

9.1.3 Median Landscaping

- Street trees shall be provided within the median of Street Sections AA, BB, DD, and EE at one (1) ornamental tree per 30 lineal feet of street frontage; minimum of 2" caliper.
- Street trees shall be provided within the median of Street Sections CC at two (2) trees per 30 lineal feet of street frontage; minimum of 2" caliper. A minimum of 50% of required street trees may be ornamental.
- Median trees shall be above and beyond street tree requirements. Landscaping will be xeriscaped (ref. 9.2.1) and compatible with the development.

9.1.4 Single Family Home Landscaping

- Landscaping on a corner lot shall present a front façade to both streets. The Developer and then the HOA will monitor landscapes through the requirements of the HOA guidelines and require healthy landscapes as part of the requirements of approval of a submitted landscape plan.
- Builders shall make the "Sensible Landscaping for Central Texas" adopted by the Home Builders Association of Greater Austin available to all homebuyers.

9.1.5 Enhanced Landscaping Features

The Standards outlined below reflect superior requirements than the existing City Code of Ordinances. If the provisions of the standards below are inconsistent with provisions found in the attached existing City Code of Ordinances, the standards below shall control.

- New landscaped areas shall be prepared with at least 6 inches of topsoil. Native topsoil shall be a blend of 75% soil and 25% compost that is fertile and friable. Soil should be free of

stones over 1 inch in diameter, lumps, refuse, plants or their roots, sticks, noxious weeds, salts, soil sterilants or other material that is detrimental to plant growth.

- Whenever possible, direct storm water/rain water runoff from hard surfaces such as; pavers, concrete, asphalt, decking, roofs, or other hard materials to landscape areas. Landscape areas include; plant beds, gardens, turf grass, native grasses. Draining the storm water/rain water runoff to an area that is aggregate is also beneficial. Consider using pervious pavement in lieu of traditional hard surfaces to promote the storm water /rain water infiltrating into the soil in individual yards and in large landscape areas within the multi family, commercial and business park areas.
- The project shall adhere to and incorporate the Sensible Landscaping for Central Texas water conservation practices adopted by the Home Builders Association of Greater Austin attached within the appendix of this document.

9.2 Environmental Standards

9.2.1 Xeriscaping

Striving toward water conservation and low impact development will be part of the Design Standard at Trace. Native or adapted vegetation used in coordination with efficient drip and controlled spray irrigation will be one tool used in the Community. The irrigation systems will be weather adaptive with solar, rain and soil moisture sensors as appropriate.

There will be wide areas along the natural drainage ways that will be enhanced with appropriate plant species to provide habitat and forage opportunities for wildlife native to the area. These areas will have multiple opportunities for educational and interpretive signage for the Community.

Water Harvesting will be employed at the Amenity Center. The school will be encouraged to harvest water from the roof and condenser units to supplement irrigation for watering the landscape around the school. This provides an educational opportunity for the Community and the public at large.

Where soil conditions permit, all plant material selections and irrigation design will employ water conservation techniques including: native or adaptive plant selection from City of San Marcos Preferred Plant List. Irrigation will utilize soil moisture sensors, drip irrigation in beds, MPR Rotators on turf areas, weather synchronized irrigation controllers.

9.2.2 Plant Palette

- All plants will be selected from the City of San Marcos, Land Development Code, Technical Manual, Article 2: Preferred Plant list as attached in the Appendix. No plants from Division 3: Discouraged Planting Materials will be used.
- Perennial grasses and wildflowers will be used in large areas where irrigation would be impractical or ill-advised.
- Ornamental plants, grasses and trees will be limited to higher use areas most travelled by pedestrian or vehicular traffic.

9.2.3 Erosion Control/Water Quality Benefits from Detention Ponds

Trace storm water management programs are aimed at controlling increased urban runoff generated by the development. More frequent flooding, increased rates and volumes of runoff, increased stream channel erosion and degradation, increased sedimentation and increased water pollution are all problems identified with development.

The proposed storm water management facilities such as detention ponds have proven to significantly reduce downstream flooding, reduce sedimentation and pollutant loads, and provide debris removal which all benefit water quality.

Section 10: Lighting

10.1 Street Lighting

Lighting should be provided to improve the safety of streets or alleys and the ease and comfort of operation. Properly design street lighting and parking lot lighting will improve comfort and visibility at night. This should improve and encourage vehicular and pedestrian movement.

- To preserve the night sky, the sub-divider will install a standard provider street light at all intersections along the spine road(s) at intervals no less than 600 feet along the spine road(s).
- Streetlights shall be installed by the sub-divider at the end of cul-de-sacs and shall have no greater distance than 600 feet between them within or abutting the subdivision.

10.2 Non-Street Lighting

The intent is to enhance day and night time appearances, establish a safe environment for residents, occupants and employees and minimize light pollution, while minimizing glare and light trespass onto adjacent properties.

- Lighting for security and visibility shall be installed at the subdivider's discretion within parks and open spaces.
- The lighting of all parks, open spaces, parking areas, pedestrian walkways, entrances, and exterior portions of the site shall be designed for its specific task and shall comply with the provisions of Chapter 6, Article 5 of the City of San Marcos Development code attached in the Appendix.
- Lighting shall be: vandal-proof; compatible with building architecture; and, scaled (dimension and intensity) to complement its location context.
- Lighting shall not be obscured by landscaping.
- Lighting for security will be dark sky compatible, and energy conserving.
- To preserve the night sky, lighting shall be compatible with the design that may employ programmed power reduction in combination with motion sensors to allow for maximum reduction in energy use.
- Non-Street lighting shall be a coordinated family of fixtures that are compatible with the overall look and feel of Trace.

Section 11 Signage

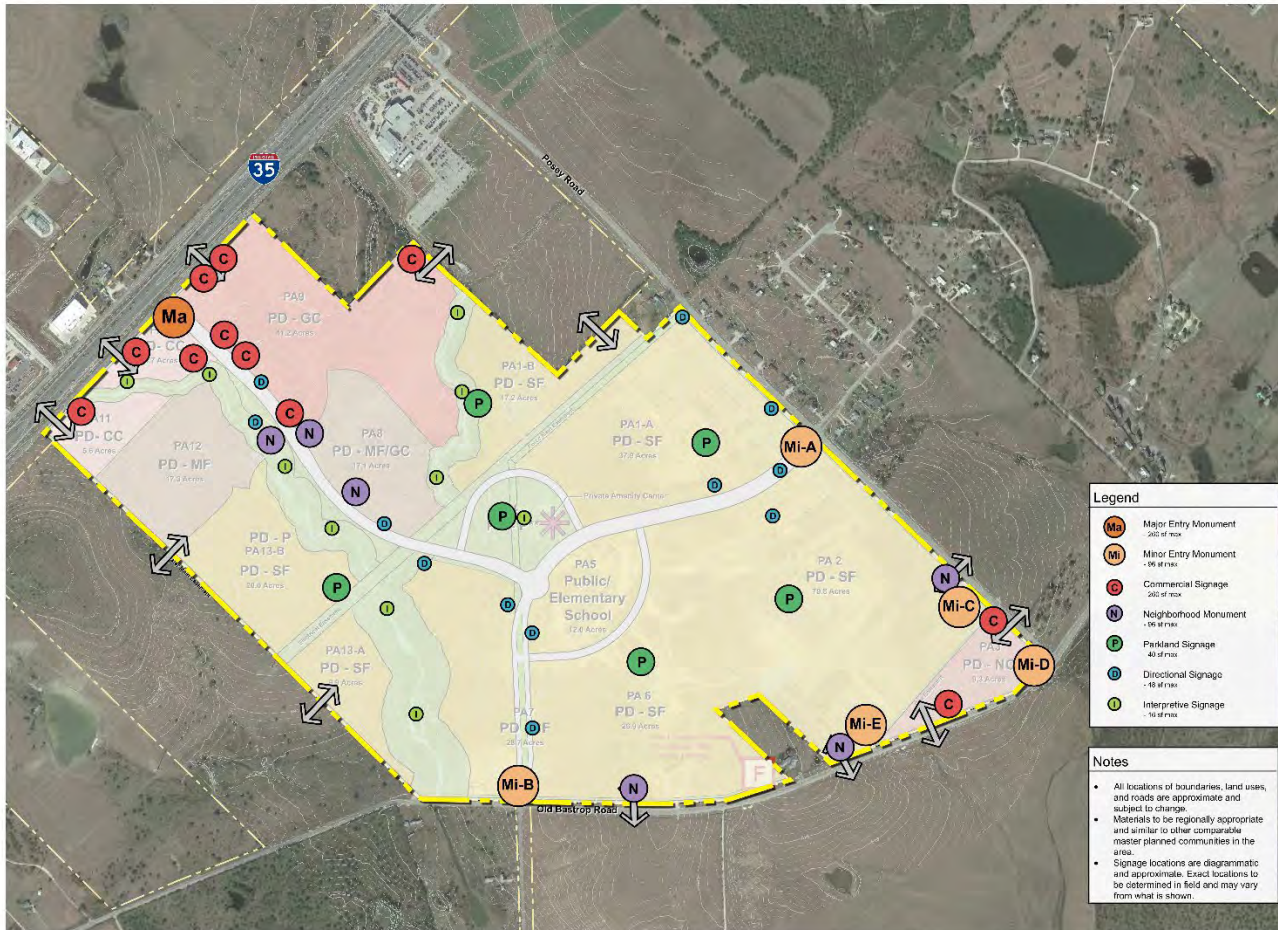
There will be a hierarchy of signage and monumentation throughout the project. Public signage such as traffic signs, street signs and safety signs will comply with current city and traffic standards. The signage described below and shown in Illustration 40: Entry Monument and Signage Plan are related to only private signage. Conceptual locations and sign types are included in that illustration. [The Illustration is diagrammatic, and the exact location may be altered at the subdivider's discretion. The number, sizes, and types of signs will be limited to the number shown on the exhibit.](#)

Signage shall comply with Article 3: Signs within the City of San Marcos Land Development Code. If the provisions of the standards below are inconsistent with the provisions of the Land Development Code, the standards below shall control.

- The signs will meet applicable safety codes, however they will be designed to reinforce the vision and aesthetic of the Trace Community and tie into the overarching aesthetic of the surrounding amenities and landscape.

- Electronic and flashing signage shall be prohibited.
- All signs shall be subject to applicable ordinances except as specifically varied herein and no private signs shall be permitted in any public right-of-way [without approval or permission.](#)

Illustration 40: Entry Monument and Signage Plan ([UPDATED](#))



11.1 Entry Monuments

Trace's location within the City of San Marcos requires a certain level of responsibility on the part of the community to represent and help form an impression of San Marcos. With this in mind the Entry Monuments and finishes will be commensurate with this responsibility. Conceptual locations and sign types are included in Illustration ~~47~~ 40.

- There will be a hierarchy of signage and monumentation throughout the project. A comprehensive Entry Monument and Signage Master Plan Illustration is shown above.
- The entry monuments will be of a size, scale and finish comparable to quality Master Planned Communities in the area (Belterra, Blanco Vista, Sunfield for example).
- Signs may be lit using dark sky compliant techniques. Full cut-off down lights, halo effect lighting or shielded low level lighting is acceptable
- [Ma, Mi, and N designations may entail the use of multiple components such as columns or other supporting structures, however the sign square footage shall be calculated as a compilation of all logo and lettered elements to calculate the square footage.](#)

- Dimensional and height max to be provided.
- [The subdivider is not required to install all signs.](#)
- [The examples shown are for representation only and not meant to guide design of actual sign.](#)

Potential materials for signage shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

11.1.1 Major Entry Monumentation (Ma)

The symbol indicated as “Ma” on the Signage Plan will be a major entry monument along I-35 for the Trace Community.

- The SF of the signage will be calculated as the smallest rectangle around the lettering comprising the message.
- Logo SF will be calculated separately, however the cumulative SF of the Sign and Logo will be no greater than 260 sf (each side if two sided).
- The sign height will be calculated using the highest elevation of the lettering above grade. The logo may be higher.
- The structure will be limited to 35' in height.



Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

11.1.2 Minor Entry Monumentation (Mi-A)

The symbol indicated as “Mi-A” on the Signage Plan will be a minor entry monument for Posey Road to the Trace Community (Residential). This monument will serve as the main entry monument for the residential section of Trace and likely as the sole monument for the initial phase of the project.



- The SF of the signage will be calculated as the smallest rectangle around the lettering comprising the message.
- Logo SF will be calculated separately, however the cumulative SF (sign and logo) will be no greater than 96 sf (each side if two sided).
- The sign height will be calculated using the highest elevation of the lettering above grade. The logo may be higher.
- The structure supporting the sign will be no taller than 6' and will not be regarded as part of the effective area of the sign.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.

Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

11.1.3 Minor Entry Monumentation (Mi-B) *see [photo](#) examples in 11.1.2*

The symbol indicated as “Mi-B” on the Signage Plan will be a minor entry monument for Old Bastrop Road to the Trace Community (Residential). This monument will serve as the secondary entry monument for the residential section of Trace. ~~See the photo examples on page 57, Minor Entry Monumentation (Mi-A).~~

- The SF of the signage will be calculated as the smallest rectangle around the lettering comprising the message.
- Logo SF will be calculated separately, however the cumulative SF will be no greater than 96 sf (each side if two-sided).
- The height will be calculated using the highest elevation of the lettering above grade. The logo may be higher.

- The structure supporting the sign will be no taller than 6'.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.
- In addition to signage, the developer may install public art such as multiple lighted steel pillars (columns), similar to the adjacent image, in the landscape lots within the main boulevard landscaping. The steel pillars (columns) shall not exceed 24' in height and no steel pillar (column) shall be closer to any residential dwelling than a distance equal to twice the height of the pillar (column).



Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

11.2 Commercial Signage (C):

The symbols indicated as “C” on the Signage Plan represents signage for the Commercial Parcels of Trace. These monuments will serve to announce major single occupants or multiple tenant spaces in the areas designated on the land plan.

- The square footage (SF) of the signage will be calculated as the smallest rectangle around the lettering comprising the message (logo SF will be calculated separately).
- The height will be calculated using the highest elevation of the lettering above grade. The logo may be higher.
- The structure supporting the sign will be no taller than 20' along I-35.
- Signage along I-35 will be complimentary and sub-servient to the Major Entry Feature designated at I-35 and be limited to 260 sf (each side if two sided).
- Signage along other roads (Posey, Old Bastrop, [and Van Horn Trace](#)) will be limited to 120 sf (each side if two sided) and 12' height.
- Digital signage that advertises the grade or price of fuel is allowed as a commercial sign as indicated in the adjacent example image. The sign shall be a monument sign limited to 7' in height and 80 sf. The portion of the sign containing the digital grade or price of fuel shall not exceed 25 percent of the maximum allowable area.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.



Potential materials shall be limited to: (excluding temporary marketing signs):

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)
- [Plastic and fiberglass](#)

11.3 Temporary Marketing Signage (C & MI-A):

The symbols indicated as “C” and the symbols indicated “MI-A, [MI-B](#), [MI-C](#), [MI-D](#), [MI-E](#)” will be used for temporary marketing purposes while construction is ongoing. These signs will be removed by subsequent permanent monuments as the project progresses. [The symbols indicated as “C” will be used to advertise spaces for lease and will be removed when spaces are fully leased.](#)

- The square footage (SF) of the signage will be calculated as the smallest rectangle around the lettering comprising the message (logo SF will be calculated separately).
- The height will be calculated using the highest elevation of the lettering above grade. The logo may be higher.
- The structure supporting the sign will be no taller than 20’ along I-35.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.



- Temporary Signage for premises located along I-35 will be limited to 260 sf (each side if two sided).
- Temporary Signage for premises located along [Van Horn Trace](#), Posey and Old Bastrop Roads will be limited to ~~120~~ [260 sf](#) (each side if two sided) and 15’ height.
- ~~Temporary signs for all other premises shall not exceed 32 square feet.~~

Potential materials for temporary marketing signs shall be limited to:

- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)

11.4 Neighborhood Signage (N)

The symbol indicated as “N” on the Signage Plan represents signage for designated residential portions of Trace. These monuments will serve to announce various sections of Trace. The signs will be similar to “village” signs seen typically in Master Planned Communities.

- The signage will be complimentary and sub-servient to the Entry Monumentation.
- The height of the lettering will be no greater than 6’ above grade/or adjacent road elevation.
- The logo will be treated separately, but the SF of both the logo and lettering will not exceed 40 sf (each side if two sided).
- The structure height will be limited to 10’.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.



Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

11.5 Parkland Signage (P)

The symbol indicated as “P” on the Signage Plan represents signage for designated parkland portions of Trace. These monuments will serve to announce various parklands of Trace. The signs will be similar to “village” signs seen typically in Master Planned Communities. [It may not be appropriate for all parks to have signage. The subdivider may, and their discretion, determine which parks require parkland signage.](#)



- The signage will be complimentary and sub-servient to the Entry Monumentation.
- The height of the lettering will be no greater than 6' above grade/or adjacent road elevation. The logo will be treated separately, but the SF of both the logo and lettering will not exceed 40 sf.
- The structure height will be limited to 8'.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.

Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)

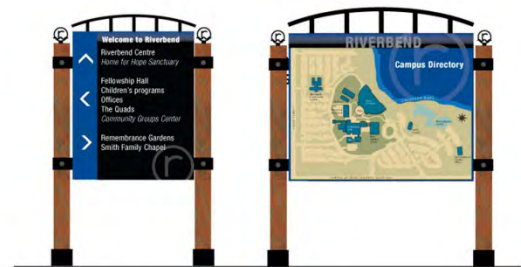
11.6 Directional Signage (D)

The symbol indicated as “D” on the Signage Plan represents directional signage to be placed throughout Trace. These monuments will serve to announce various elements of Trace. These signs will be concise, directional and/or informative to offer assistance to visitors to orient themselves to the major elements of Trace.

- The height of the lettering will be no greater than 6' above grade/or adjacent road elevation.
- The SF of the entire composition of sign and structure will be limited to 48 sf.
- The structure height will be limited to 8'.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.

Potential materials shall be limited to:

- Stone Masonry



- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)
- Izone or similar signage material for print

11.7 Interpretive Signage (I)

The symbol indicated as “I” on the Signage Plan represents interpretive signage to be placed throughout Trace. These monuments will serve as educational elements along the trails, in the parks and wherever a unique opportunity arises. For example, wildflower areas, a short explanation of the history of Trace and/or San Marcos, or to help identify birds along the preserved or enhanced natural areas throughout Trace.



- The signs will be identifiable, but blend into the landscape with a size no greater than 16 sf for any one sign.
- The height will be measured from the grade on which the sign stands or the adjacent roadway elevation whichever is higher.



Potential materials shall be limited to:

- Stone Masonry
- Brick Masonry
- Metal (Aluminum, Corten, Raw Steel, or Stainless Steel) for letter and possible sign background.
- Wood (limited use, treated, stained or painted and protected from decay)
- Stucco
- Concrete (Board Formed, Stained)
- Izone or ~~similar~~ appropriately durable signage material for print

11.8 Signage comparisons

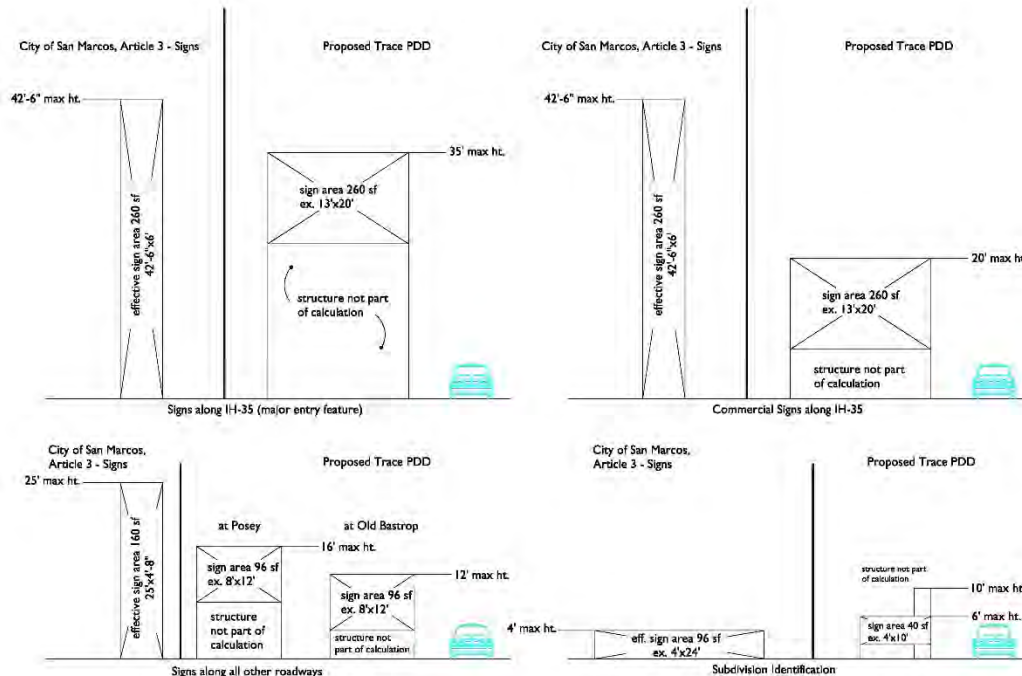
City of San Marcos Article 3, Signs

Signage Requirements for - On-Premises Freestanding Signs	Height	Square Feet	Height	Square Feet
Along I-35	42.5	260	35.0	260
Commercial Signage along I-35	42.5	260	20.0	260
Along Highways 123, 21 and 80	30.0	160	n/a	n/a
Along All Other Roadways	25.0	120	16.0	96
Subdivision Identification Neighborhood Signage	4.0	96	8.0 10.0	40

Notes

- PDD signage square foot calculation is defined as the area of the smallest rectangle that encompasses the entire text of the sign.
- The logo may be calculated using a separate rectangle, but the cumulative area of both the logo and the text will meet the stated square foot area.
- The height of the signage element will be measured from natural grade at the bottom of the sign to the highest point of the sign whether the highest point be structure, text or logo.
- If adjacent road grade is more than 3' above the proposed location of the sign, the sign height will be measured from the road grade elevation.
- Each side of a two-sided sign is allowed the stated square footage.
- In case of conflict quantities shown on exhibit shall prevail

Illustration 414: Comparison of City Standards to Trace Standards



Section 12: Special Standards and Administration

12.1 Concept Plan Revisions

The Concept Plan may be revised in accordance with the existing City Code of Ordinances, Subpart B – Land Development Code, Chapter 1, Article 5, Division 3 – Petition for Planned Development District, Section 6 – Amendments and Relief Measures attached in the Appendix.

12.2 Concept Plat

A concept or Subdivision Concept Plat shall be submitted to the Planning Department for approval prior to the submittal of a Preliminary Plat in accordance with the existing City Code of Ordinances, Subpart B – Land Development Code, Chapter 1, Article 6, Division 2 – Subdivision Concept Plats attached in the Appendix.

12.3 Architectural Regulations and Site Plan Regulation Checklist

A concise checklist shall be developed with Planning Department Staff to enforce architectural regulations and site plan regulations and to provide efficient staff review at the time of permit/ plan review. This concise checklist shall be completed prior to the first Concept Plat submittal.

12.4 Undergrounding of Utilities

All dry utilities shall be undergrounded in the Trace community.

12.5 Residential Sales Office(s)

“**Residential Sales Office**” shall mean a structure or dwelling in a developing subdivision, located on a legal lot of record, and is limited to temporary use as a sales office for the subdivision and to provide an example of the dwellings which have been built or which are proposed to be built within the same subdivision. This use may operate until such time all available lots and or structures within the subdivision are sold. Temporary permits for a specific time and location as determined may be issued by the building official and shall be subject to review and renewal for reasonable cause.

12.6 Construction Field Office Buildings

“**Construction Field Office**” shall mean a structure or shelter used in connection with a development or building project for housing on the site of temporary administrative and supervisory functions and for sheltering employees and equipment. Temporary permits for a specific time and location as determined may be issued by the building official and shall be subject to review and renewal for reasonable cause.

12.7 Temporary Construction Buildings

Temporary buildings and temporary building material storage areas to be used for construction purposes may be permitted for a specific period of time in accordance with a permit issued by the Building Official and subject to periodic renewal by the Building Official for cause shown. Upon completion or abandonment of construction or expiration of a permit, the field offices or buildings and material storage areas shall be removed to the satisfaction of the Building Official.

12.8 Conditional Use Permits

Conditional use permits required for uses within Planning Area 8, also labeled as PD-MF/GC on the Concept Plan, as listed in the Land Use Matrix in Section 13.2, shall be subject to final approval by City Council following recommendation by the Planning and Zoning Commission.

12.9 Occupancy Restrictions

All dwelling units within the Multi Family areas on the Project Site shall be restricted to occupancy by no more than two (2) persons not related by blood, legal adoption, marriage or conservatorship or three (3) persons in a three bedroom unit not related by blood, legal adoption, marriage or conservatorship. The provisions of this section shall be enforced through the residential lease agreements and occupancy shall be based upon the lessee(s) indicated on the residential lease. No units will be rented by the bedroom. Additionally, failure to enforce the provisions of this section shall be considered a violation of this PDD. Single family residential shall meet all occupancy requirements adopted in the City of San Marcos Land Development Code.

Covenants, Conditions and Restrictions shall be recorded and shall include a reference to the city's occupancy restrictions within single-family zoned property.

Section 13: Appendixes

13.1 Legal Description

BEING A 417.630 ACRE TRACT OUT OF THE WILLIAM H. VAN HORN SURVEY, ABSTRACT NO. 464, HAYS COUNTY, TEXAS, AND BEING A PORTION OF THOSE CERTAIN 100.22 ACRE, 67.53 ACRE, 248.77 ACRE, AND 5.01 ACRE TRACTS CONVEYED TO JOQ-SAN MARCOS VENTURES L.P. BY DEED OF RECORD IN VOLUME 1820, PAGE 715, OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; SAID 417.630 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, at a 1-inch iron pipe found in the east right-of-way line of Interstate Highway 35 (300' R.O.W.), being the called northeast corner of that certain 85.00 acre tract conveyed to San Marcos 197 Acre Associates, LLC, by Deed of record in Volume 4015, Page 562, of said Official Public Records, also being the northwest corner of said 248.77 acre tract, for the northwesterly corner hereof;

THENCE, N43°34'33"E, along said east right-of-way line of Interstate Highway 35, being the north line of said 248.77 acre tract, a distance of 2222.49 feet to a 1/2-inch iron rod found near the base of a fence post at the called northeast corner of said 248.77 acre tract, being the northwest corner of that certain 14.86 acre tract conveyed to Kimberley Gunnarson, by Deed of record in Volume 3281, Page 47, of said Official Public Records, for the northeasterly corner hereof;

THENCE, S45°57'08"E, leaving said east right-of-way line, along the west line of said 14.86 acre tract, being an east line of said 248.77 acre tract, generally with the remnants of an old barbed-wire fence (a new barbed-wire fence meanders parallel and several feet to the west), a distance of 976.48 feet to a calculated point at the called southwest corner of said 14.86 acre tract, being an angle point of said 248.77 acre tract, for an angle point hereof, from which an 8-inch cedar fence post found bears S45°57'08"E, a distance of 0.87 feet;

THENCE, N44°02'46"E, along the south line of said 14.86 acre tract, generally with a barbed-wire fence, at 14.92 feet passing a 1/2-inch iron rod found at the base of an 8-inch cedar fence post, being approximately at an angle point in the east line of said 248.77 acre tract and the approximate northwest corner of said 67.53 acre tract, and continuing along the north line of said 67.53 acre tract for a total distance of 673.37 feet to a 1/2-inch iron rod found at the base of a leaning 10-inch cedar fence post at the called southeast corner of said 14.86 acre tract, being the northeast corner of said 67.53 acre tract, also being in the west line of Lot 2, Final Plat of San Marcos Toyota Subdivision, of record in Book 9, Pages 155-156, of the Plat Records of Hays County, Texas, for an angle point hereof;

THENCE, S46°27'25"E, in part along the west line of said Lot 2 and in part along the remainder of that certain 56.288 acre tract conveyed to JMC Realty, LP, by Deed of record in Volume 1662, Page 628, of said Official Public Records, being the east line of said 67.53 acre tract, generally with a barbed-wire fence as called in said Volume 1662, Page 628 and Volume 1820, Page 715, a distance of 181.47 feet to a 3-inch cedar fence post found, for an angle point hereof;

THENCE, continuing along the west line of said 56.288 acre tract, being the east line of said 67.53 acre tract, generally with a barbed-wire fence as called in said Volume 1662, Page 628 and said Volume 1820, Page 715, the following four (4) courses and distances:

1) S46°59'15"E, a distance of 232.69 feet to an 8-inch cedar fence post found, for an angle point hereof;

2) S49°30'26"E, deviating from a re-established fence line over a creek, a distance of 126.95 feet to a 6-inch cedar fence post found, for an angle point hereof;

3) S47°20'32"E, rejoining and continuing generally with a barbed-wire fence line, a distance of 387.84 feet to a 1/2-inch iron rod found in the base of a hackberry tree, as called in said Volume 1662, Page 628, for an angle point hereof;

4) S47°39'57"E, a distance of 528.76 feet to a 1/2-inch iron rod found at the called southwest corner of said 56.288 acre tract, being at the base of a 10-inch cedar fence post at a called angle point in the east line of said 67.53 acre tract, for an angle point hereof;

THENCE, N44°31'00"E, along the south line of said 56.288 acre tract, being an east line of said 67.53 acre tract, generally with a barbed-wire fence, a distance of 646.04 feet to a 1/2-inch iron rod found at an angle point in the east line of said 67.53 acre tract, being the northwest corner of that certain 1.000 acre tract conveyed to Wilford L. Wootan, Jr., et ux, by Deed of record in Volume 536, Page 849, of the Real Property Records of Hays County, Texas, for an angle point hereof;

THENCE, S46°59'32"E, leaving the south line of said 56.288 acre tract, along the west line of said 1.000 acre tract, being an east line of said 67.53 acre tract, generally with a barbed-wire fence, a distance of 280.51 feet to a 1/2-inch iron rod found at the base of a fence post at the called southwest corner of said 1.000 acre tract, for an angle point hereof;

THENCE, N47°03'15"E, along the south line of said 1.000 acre tract and that certain 1.335 acre tract conveyed to Wilford L. Wootan, Jr., et ux, by Deed of record in Volume 401, Page 769, of said Real Property Records, being an east line of said 67.53 feet, generally with a barbed-wire fence, a distance of 335.24 feet to a 1/2-inch iron rod with "Capital Surveying Company" cap found at the northwest corner of that certain 0.8521 acre tract

conveyed to Hays County, Texas for right-of-way purposes, by Deed of record in Volume 2927, Page 699, of said Official Public Records, being the southwest right-of-way line of Posey Road (R.O.W. varies), for an angle point hereof;

THENCE, leaving the south line of said 1.335 acre tract, over and across said 67.53 acre tract and said 100.22 acre tract, along said southwest right-of-way line of Posey Road, being the west line of said 0.8521 acre tract, and those certain 0.5415 acre and 2.4004 acre tracts conveyed to Hays County, Texas for right-of-way purposes, by said Deed of record in Volume 2927, Page 699, the following eight (8) courses and distances:

1) S41°53'43"E, a distance of 78.28 feet to a disturbed 1/2-inch iron rod found at the point of curvature of a curve to the left;

2) Along said curve, having a radius of 6075.00 feet, a central angle of 04°47'50", an arc length of 508.66 feet, and a chord which bears S44°20'45"E, a distance of 508.51 feet to a 1/2-inch iron rod with "Capital Surveying Company" cap found at the point of tangency of said curve;

3) S46°43'43"E, at 327.46 feet passing a 1/2-inch iron rod found on the south line of said 67.53 acre tract, being the north line of said 100.22 acre tract, and continuing for a total distance of 865.99 feet to a calculated point at the point of curvature of a curve to the right;

4) Along said curve, having a radius of 15031.48 feet, a central angle of 00°34'12", an arc length of 149.56 feet, and a chord which bears S46°08'19"E, a distance of 149.56 feet to a 1/2-inch iron rod with "Capital Surveying Company" cap found at the point of tangency of said curve;

5) S46°08'26"E, a distance of 1770.49 feet to a calculated point at the point of curvature of a curve to the left;

6) Along said curve, having a radius of 14862.04 feet, a central angle of 00°34'49", an arc length of 150.53 feet, and a chord which bears S46°25'49"E, a distance of 150.53 feet to a 1/2-inch iron rod with "Capital Surveying Company" cap found at the point of tangency of said curve;

7) S46°41'07"E, a distance of 195.22 feet to a 1/2-inch iron rod with "Capital Surveying Company" stamp found near the base of a 2-inch steel fence post, for an angle point hereof;

8) S01°32'03"E, a distance of 28.03 feet to a calculated point at the southwest corner of said 2.4004 acre tract, being in the south line of said 100.22 acre tract, also being the intersection of said southwest right-of-way line of Posey Road and the northeast right-of-way line of County Road 266/Old Bastrop Highway/El Camino Real (R.O.W. varies), for the southeasterly corner hereof;

THENCE, along the used and occupied northeast right-of-way line of County Road 266, being the called south line of said 100.22 acre tract, generally with a barbed-wire fence, the following two (2) courses and distances:

1) S43°45'05"W, a distance of 70.45 feet to an 8-inch cedar fence post found, for an angle point hereof;

2) S44°04'56"W, a distance of 207.09 feet to a calculated point at the point of curvature of a curve to the right, being near the base of a 2-inch steel fence post, also being the east corner of that certain 0.0123 acre tract conveyed to Hays County, Texas for right-of-way purposes, by Deed of record in Volume 4600, Page 118, of said Official Public Records;

THENCE, continuing along said northeast right-of-way line, over and across said 100.22 acre tract, along said curve to the right, having a radius of 950.00 feet, a central angle of 08°05'19", an arc length of 134.11 feet, and a chord which bears S62°20'44"W, a distance of 134.00 feet to a calculated point near the base of a 2-inch steel fence post at the west corner of said 0.123 acre tract, being on the called south line of said 100.22 acre tract, for an angle point hereof;

THENCE, continuing along the used and occupied northeast right-of-way line of County Road 266, being the called south line of said 100.22 acre tract, generally with a barbed-wire fence, the following four (4) courses and distances:

1) S68°39'21"W, a distance of 769.76 feet to an 8-inch cedar fence post found, for an angle point hereof;

2) S69°15'47"W, a distance of 221.52 feet to a 60D nail found in an 8-inch cedar fence post, for an angle point hereof;

3) S70°25'00"W, a distance of 127.68 feet to an 8-inch cedar fence post found, for an angle point hereof;

4) S69°14'26"W, a distance of 228.32 feet to a calculated point at the called southwest corner of said 100.22 acre tract, being the southeast corner of that certain 5.0000 acre tract conveyed to Pleasant F. Rexroat and wife, Elwanda J. Rexroat, by Deed of record in Volume 1898, Page 98, of said Official Public Records, for an angle point hereof;

THENCE, N45°06'19"W, leaving said northeast right-of-way line of County Road 266, along the called west line of said 100.22 acre tract, generally with the remnants of an old barbed-wire fence (new wire fence meanders approximately parallel and several feet southwest of old fence), a distance of 85.52 feet to a 6-inch cedar fence post found leaning, for an angle point;

THENCE, N46°36'04"W, continuing generally with the remnants of an old-barbed wire fence as called in said Volume 1820, Page 715, a distance of 642.34 feet to a 1/2-inch iron pipe found near the base of a fence post, being the called northeast corner of said Rexroat 5.0000 acre tract, also being an angle point in the occupied east line of said 248.77 acre tract, for an angle point hereof;

THENCE, S70°39'07"W, leaving the occupied west line of said 100.22 acre tract, along the called and occupied north line of said Rexroat 5.0000 acre tract, being the occupied east line of said 248.77 acre tract, generally with a barbed-wire fence, a distance of 329.36 feet to a 1/2-inch iron pipe found near the base of a fence post at the called northwest corner of said Rexroat 5.0000 acre tract, being the occupied northeast corner of said 5.01 acre tract, for an angle point hereof;

THENCE, S46°20'51"E, leaving the east line of said 248.77 acre tract, along the called and occupied west line of said Rexroat 5.0000 acre tract, being the occupied east line of said 5.01 acre tract, generally with a barbed-wire fence, a distance of 747.43 feet to a 1/2-inch iron pipe found near the base of a fence post at the called southwest corner of said Rexroat 5.0000 acre tract, being the southeast corner of said 5.01 acre tract, also being in said used and occupied northeast right-of-way line of County Road 266, for an angle point hereof;

THENCE, S72°25'29"W, along the used and occupied northeast right-of-way of County Road 266, being the called south line of said 5.01 acre tract, generally with a barbed-wire fence, a distance of 335.30 feet to a calculated point in a fence line, being the called southwest corner of said 5.01 acre tract, being the occupied southeast corner of said 248.77 acre tract, from which a 1/2-inch iron pipe found bears N46°20'31"W, a distance of 2.00 feet, for an angle point hereof;

THENCE, continuing along the used and occupied northeast right-of-way line of County Road 266, being the called south line of said 248.77 acre tract, generally with a barbed-wire fence, the following nine (9) courses and distances:

- 1) S71°40'15"W, a distance of 115.86 feet to a calculated point in a fence line, for an angle point hereof;
- 2) S76°06'10"W, a distance of 46.03 feet to an 8-inch cedar fence post found, for an angle point hereof;
- 3) S86°28'05"W, a distance of 428.20 feet to an 8-inch cedar fence post found, for an angle point hereof;
- 4) N89°34'56"W, a distance of 321.83 feet to a T-post found, for an angle point hereof;
- 5) N89°02'24"W, a distance of 554.59 feet to a calculated point in a fence line, for an angle point hereof;
- 6) S89°48'27"W, a distance of 68.91 feet to an 8-inch creosoted fence post found, for an angle point hereof;
- 7) N81°53'25"W, a distance of 50.53 feet to an 8-inch creosoted fence post found, for an angle point hereof;
- 8) N88°55'45"W, at approximately 713 feet leaving said barbed-wire fence line, and continuing for a distance of 802.47 feet to a 1/2-inch iron rod with "Macias" cap found, for an angle point hereof;
- 9) N70°06'57"W, a distance of 39.04 feet to an 8-inch creosoted fence post found, for the southwesterly corner hereof;

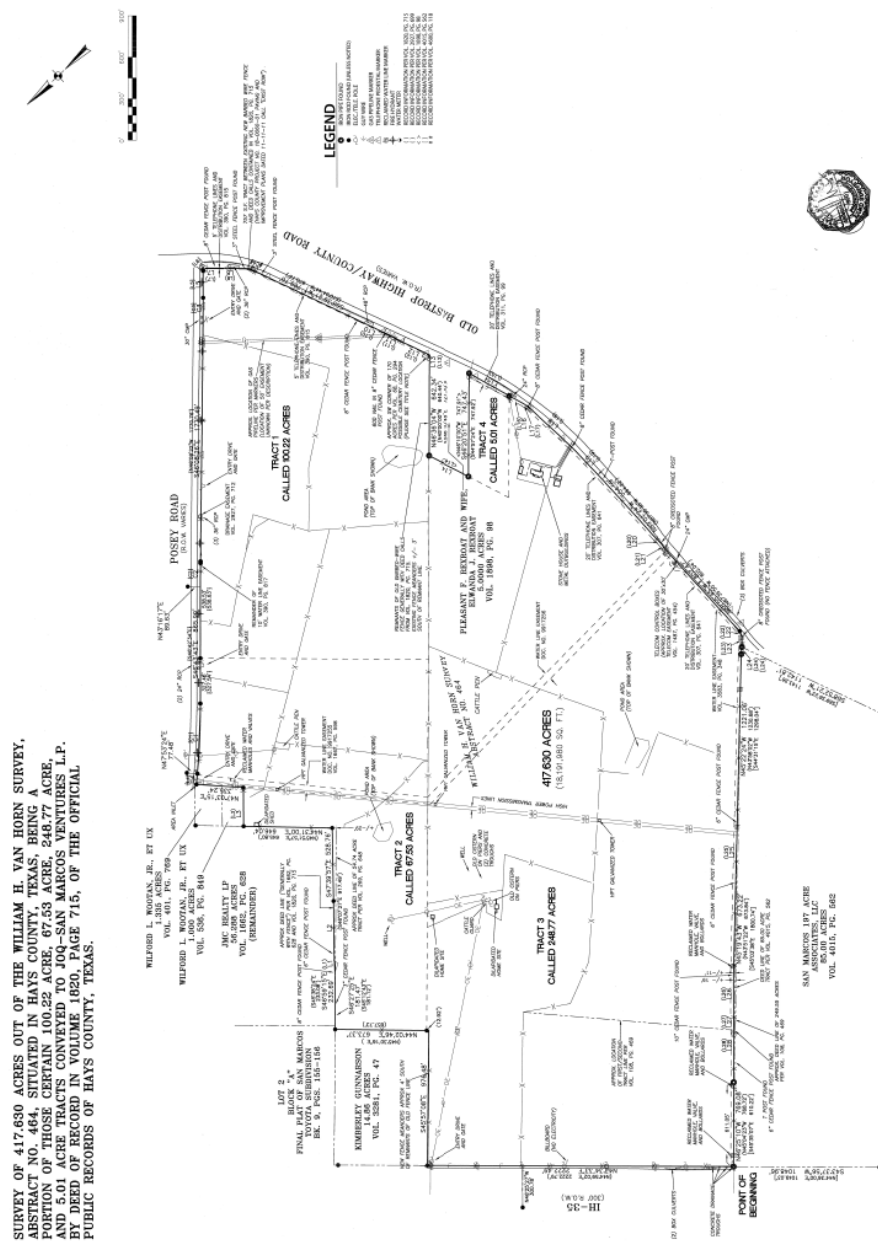
THENCE, N46°27'14"W, continuing along the used and occupied northeast right-of-way line of County Road 266, being the called west line of said 248.77 acre tract, generally with a barbed-wire fence, a distance of 79.93 feet to a 1/2-inch iron pipe found at the called southeast corner of said 85.00 acre tract, for an angle point hereof;

THENCE, leaving said northeast right-of-way line of County Road 266, along the occupied east line of said 85.00 acre tract, being the called and occupied west line of said 248.77 acre tract, generally with a barbed wire fence, the following eight (8) courses and distances:

- 1) N41°35'30"W, a distance of 51.65 feet to a 1/2-inch iron pipe found, for an angle point hereof;
- 2) N45°22'24"W, a distance of 1221.06 feet to a 6-inch cedar fence post found, for an angle point hereof;
- 3) N45°15'48"W, a distance of 427.82 feet to a 6-inch cedar fence post found, for an angle point hereof;
- 4) N45°19'43"W, a distance of 673.22 feet to a 10-inch cedar fence post found, for an angle point hereof;
- 5) N46°33'40"W, a distance of 275.02 feet to a calculated point in a fence line, for an angle point hereof;
- 6) N47°51'30"W, a distance of 124.53 feet to a 6-inch cedar fence post found, for an angle point hereof;
- 7) N46°26'02"W, a distance of 218.87 feet to a T-post found, for an angle point hereof;
- 8) N46°25'10"W, at 158.03 feet passing a 1/2-inch iron pipe found, and continuing for a total distance of 769.08 feet to the POINT OF BEGINNING, and containing 417.630 acres (18,191,980 square feet) of land, more or less.

NOTE: THE COMPANY IS PROHIBITED FROM INSURING THE AREA OR QUANTITY OF THE LAND DESCRIBED HEREIN. ANY STATEMENT IN THE ABOVE LEGAL DESCRIPTION OF THE AREA OR QUANTITY OF LAND IS NOT A REPRESENTATION THAT SUCH AREA OR QUANTITY IS CORRECT, BUT IS MADE ONLY FOR INFORMATIONAL AND/OR IDENTIFICATION PURPOSES AND DOES NOT OVERRIDE ITEM 2 OF SCHEDULE B HEREOF.

Illustration 42: Survey Map



13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Accessory Building/Structure (Larger than 625 s.f. in size OR 12'	C	P	P	P	C	P	P
Accessory Building/Structure (No larger than 625 s.f. in size and 12'	P	P	P	P	P	P	P
Accessory Dwelling (One Accessory Dwelling Per Lot)	€ P			P	C	C	C
Adult Day Care (No Overnight Stay)			C	P	€ P	P	P
Aircraft Support and Related Services				P			
Airport				P			
All Terrain Vehicle (go-carts) Dealer/Sales					C	C	P
Ambulance Service (Private)				P	C	C	P
Amusement Services or Venues (Indoors)			C			C	P
Amusement Services or Venues (Outdoors)	C	C	C	C			P
Antique Shop (with outside storage)					€ X	€ X	€ X
Appliance Repair					C	P	P
Armed Services Recruiting Center			C	P	P	P	P
Artist or Artisans Studio			C		P	P	P
Assisted Living Facility/Hospice		P	P		€ P	P	P
Auction Sales (Non-Vehicle)							P
Auto Body Repair					C		C
Auto Dealer (Primarily New/Used Auto Sales as accessory use only)							P
Auto Dealer, Used Auto Sales						C	P
Auto Muffler Shop					C	P	P
Auto Paint Shop							C
Auto Repair (General)					C	C	P
Auto Repair as an Accessory Use to Retail Sales					C	P	P
Auto Supply Store for New and Rebuilt Parts					C	P	P
Auto Tire Repair/Sales (Indoor)					C	P	P
Auto Wrecker Service/Tow Yard							
Automatic Teller Machines (ATM's)				P	P	P	P
Automobile Driving School (including Defensive Driving)				P	C	P	P
Bank or Savings and Loan (w Drive- thru)			C		C	P	P
Bank or Savings and Loan (w/o Drive-thru)			C		C	P	P

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Bar						C	C
Barber/Beauty College (barber or cosmetology school or college)				P	C	P	P
Barber/Beauty Shop, Haircutting (non-college)					P	P	P
Barns and Farm Equipment Storage							
Bed and Breakfast (No Permanent Residence)		P	P		C	P	P
Bed and Breakfast Inn	C	P	P	C	P	P	P
Bike Sales and/or Repair					C	P	P
Billiard/Pool Facility/Nightclub (Three or More Tables) No alcohol consumption						C	P
Bio-Medical Facilities			C				C
Broadcast Station (with Tower)				P			
Building Material Sales			C				P
Bulk Grain and/or Feed Storage/Processing							
Cabinet Shop (Manufacturing)							P
Call Service Center			C			P	P
Car Wash (Self Service; Automated)					C	C	P
Caretaker's/Guard's Residence		C	C	P	C	P	P
Caterer					C P	C	C P
Cemetery and/or Mausoleum				P			
Charitable Gaming Facility							C
Check Cashing Service					P	P	P
Child Day Care (Business)			C		C P	P	P
Civic/Conference Center			C	P		C	P
Clinic (Medical)			C	P	C P	P	P
Communication Equipment (Installation and/or Repair - No outdoor sales or storage)						C	P
Community Home	P	P	P	P			
Contractor's Office/Sales, With Outside Storage including Vehicles							
Convenience Store With Gas Sales					C	C	P
Convenience Store Without Gas Sales					C P	P	P
Country Club (Private)	C	C	C		C	C	C
Dance Hall/Dancing Facility						C	P

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Dance/Drama/Music Schools (Performing Arts)			C	P	P	P	P
Day Camp							P
Department Store			C			P	P
Distribution Center			X				C
Driving Range							P
Duplex/Two-Family/Duplex Condominiums		P X	P X	P X			
Electrical Generating Plant				C			
Electrical Substation	C	C	C	C	C	C	C
Electronic Assembly/High Tech Manufacturing							P
Emergency Care Clinic			C		C	P	P
Engine Repair/Motor Manufacturing Re-Manufacturing and/or Repair							
Extended Stay Hotels/Motels (Residence hotels)			C			C	P
Extermination Service							P
Exterminator Service (No outdoor sales or storage)							P
Fair Ground				P			
Family Home Child Care	P	P	P				
Farmers Market			C	P	C	C	C
Farms, General (Crops)							
Farms, General (Livestock/Ranch)							
Feed and Grain Store					C		P
Food or Grocery Store with Gasoline Sales			C		C	C	P
Food or Grocery Store without Gasoline Sales			C		C P	P	P
Food Processing (no Outside Public Consumption)							C
Four Family (Quadrplex) or Three Family (Tri-Plex)		P	P				
Fraternal Organization/Civic Club					C	P	P
Fraternity or Sorority Building		C	C	P C			
Full Service Car Wash (Detail Shop)					C	P	P
Funeral Home					C		P
Furniture Manufacture							C
General Vehicular Sales and Service						P	P
Governmental Building or Use (Municipal, State or Federal)	P	P	P	P	P	P	P
Gravestone/Tombstone Sales					C		C

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Gun Smith					C		C
Hay, Grain, and/or Feed Sales (Wholesale)							
Health Club (Physical Fitness; Indoors Only)			C		P	P	P
Heavy Load Vehicle Sales/Repair							
Heliport				P			C
Helistop (Non-Emergency)				P			
Home Improvement Center (10,000 s.f. or more)			C			P	P
Hospital (Acute Care/Chronic Care)		C	C	C	C	C	P
Hotel/Motel			C			€ P	P
Household Care Facility	C	C	C	P			
HUD code-Manufactured Home							
Kiosk (Providing A Retail Service)					C	P	P
Laboratory Equipment Manufacturing			C				C
Laundry/Dry Cleaning (Drop Off/Pick Up)			C		€ P	P	P
Lawnmower Sales and/or Repair						C	P
Leather Products Manufacturing							C
Limousine/Taxi Service						P	P
Liquor Sales (retail)						P	P
Livestock Sales/Auction						O	
Loft Apartments		P	P	C	C	C	C
Machine Shop							C
Maintenance/Janitorial Service			C		€ P		P
Manufactured Home Sales							
Manufacturing							
Manufacturing Processes not Listed							
Marble or Stone Finishing							C
Market (Public, Flea)					C		C
Martial Arts School			C	P	C	P	P
Medical Supplies and Equipment			C		P	P	P
Meeting Place/Nonreligious	C				€ P	P	P
Metal Fabrication Shop							C
Micro Brewery (onsite mfg. and sales)						C	C
Mini-Warehouse/Self Storage Units			C				C

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Motion Picture Studio, Commercial Film							P
Motion Picture Theater (Indoors)			C			C	P
Motor Freight Terminal							
Moving Storage Company							C
Multifamily (Apartments)		P	P	C			
Museum (Indoors Only)			C	P	P	P	P
Nursing/Convalescent Home		P	P		€ P	P	P
Offices (Health Services)			C		P	P	P
Offices (Medical Office)			C		P	P	P
Offices (Professional)			C	C	P	P	P
Off-Premises Freestanding Sign						P	P
On-Premises Consumption of Alcohol					€ X	C	C
Outside Storage (as primary use)							C X
Paint Manufacturing							
Park and/or Playground	P	P	P	P	P	P	P
Petroleum Bulk Storage							
Pharmacy			C		€ P	P	P
Philanthropic organization					€ P	P	P
Photocopying/Duplicating/Copy Shop			C		C	P	P
Place of Religious Assembly/Church	P	P	P	P	P	P	P
Plant Nursery (growing for commercial purposes but no retail sales on site)							
Plant Nursery (Retail Sales/Outdoor Storage)				P X	€ X	P	P C
Plastic Products Molding/Reshaping							C
Portable Building Sales							P
Post Office (Governmental)	C	C	C	P	P	P	P
Post Office (Private)				P	P	P	P
Public Garage/Parking Structure			C	C		C	€ P
Rectory/Parsonage with Place of Worship	P	P	P	P	P	P	P
Recycling Kiosk				P	C	P	P
Research Lab (Non-Hazardous)			C				€ P
Residential Hall or Boarding House		P	P	P	C		
Restaurant/Prepared Food Sales				C	€ P	P	P

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Restaurant/Prepared Food Sales with beer/wine off-premises consumption						C	C
Restaurant/Prepared Food Sales with drive thru					C	P	P
Retail Store (100,000 s.f. or more Bldg.)			C			C	P
Retail Store (Misc.) with Drive Thru Service						C	P
Retail Store (Misc.) without Drive Thru Service (Under 100,000 s.f. Bldg.)			C			P	P
Retail Store (over 10,000 s.f. or more Bldg.) outside sales					€ X	C	P
Retail Store (under 10,000 s.f. or more Bldg.) no outside sales			C		€ P	P	P
Retail Store (under 10,000 s.f. or more Bldg.) outside sales					€ X	P	P
Retirement Home/Home for the Aged		P	P		C	P	P
Rodeo Grounds				P			
RV/Travel Trailer Sales							P
Sand/Gravel Sales (Storage or Sales)							
School, K through 12 (Private)	C	C	C	P	P	P	P
School, K through 12 (Public)	P	P	P	P	P	P	P
School, Vocational (Business/Commercial Trade)			C	P	€ P	P	P
Senior/Age Restricted Dwelling Senior Housing Apartments					P		
Security Systems Installation Company					C		P
Shopping Center (Over 5 Acres)			C			P	P
Sign Manufacturing							C
Single Family Detached House	P	P	P	C	C		
Single Family Industrialized Home	P	P	P	C	C		
Single Family Townhouse (Attached)	p	P	P				
Single Family Zero Lot Line/Patio Homes	p	P	P				
Smoking Lounge					€ X	C	P
Stables							
Stables (Private, Accessory Use)							
Stone/Clay/Glass Manufacturing							C
Studio for Radio or Television (without tower)				p-X	C	P	P
Studio Tattoo or Body Piercing					C	P	P
Taxidermist							P

13.2 Land Use Matrix

P = Permitted by LDC
C = Conditional Use by LDC

P - Permitted Use by PDD
C - Conditional Use by PDD
X - Not Permitted by PDD

PDD Sub-District (Base LDC Zoning)	PD-SF (SF-6)	PD-MF-24 (MF-24)	PD-MF-24/GC (MF-24)	PD-P (P)	PD-NC (NC)	PD-CC (CC)	PD-GC (GC)
Temporary Outdoor Retail Sales / Commercial Promotion (4 day time limit; Permit Required by Building Official)					C	P	P
Tennis Court (Lighted)	C	P	P	P		C	C
Theater (Non-Motion Picture; Live Drama)				P		C	P
Tire Sales (Outdoors/Storage)						C	P
Tool Rental (Indoor Storage only)			C		C	C	P-C
Tool Rental (with Outdoor Storage)							C-X
Transfer Station (Refuse/Pick-up)							
Transit Terminal						C	C
Travel Trailers/RVs (Short Term Stays)							P
Truck Terminal							C
University or College				P			
Upholstery Shop (Non-Auto)							P
Veterinarian (Indoor Kennels)					C	C	P
Veterinarian (Outdoor Kennels or Pens)							C
Warehouse/Office and Storage							C-P
Washateria/Laundry (Self Serve)					C	P	P
Welding Shop							C
Woodworking Shop (Ornamental)					P	P	P
Wrecking/Junk Yard							

13.3 Comparison Table variances/enhancements to City Ordinances/Code

LDC Modifications				
PDD Section	CoSM Section	Subject	Existing Regulation	PDD Modification
4.1	TDM Table 1-1	Residential Street	Minimum ROW 53'	Residential Street ROW is 52', unless at School or Central Park site where 56' to accommodate two sides of parking and wider sidewalks
4.1	TDM Table 1-1	Residential Street	Paved width: 33'	Paved width is 30', unless at School or Central Park site where 32' to accommodate parking on two sides
4.1	TDM Table 1-1	Commercial Collector	Tangent length between reverse curves: 110'-150'	Tangent length between reverse curves: 100'-150'
4.5	LDC 7.4.1.4 (g)	Intersections	No street shall intersect at an angle less than 85 degrees	The desirable angle of a street intersection is 90 degrees. However, street intersection angles are allowed to vary between 80 and 100 degrees with Engineering Director approval.
5.1	LDC 4.2	Zoning Districts		See Table 5.1 Added three types of additional residential uses
5.1	LDC 4.2	Zoning Districts		Increase allowed impervious cover from 60%-75% to 80%
4.6	LDC 6.1.1.4	Street Trees	On single family and lots, 2 Large Shade Trees planted on-site, per lot.	On single-family lots 40 feet in width or less located on an Enhanced Residential Street, one street tree may count towards the two shade trees per lot

				required by Section 6.1.1.4(d)(1).
11.2	LDC 6.3.3.3 (5)	Major Entry Monumentation	260 SF max. sign area along I-35. Max 42.5' tall.	260 SF max. sign area (each side) along I-35. Max. 35' tall.
11.3	LDC 6.3.3.3 (5)	Minor Entry Monumentation	120 SF max. sign area along all other roadways. Max 25' tall.	96 SF max. sign area along all other roadways. Max 16' tall.
11.6	LDC 6.3.3.3 (5)	Neighborhood Signage	80 SF max sign area for ground/monument signs.	40 SF max sign area (each side) for ground/monument signs
12.3		Temporary Sales Office		Temporary Residential Sales buildings and/or offices for construction purposes may be permitted by the Building Official
12.4 12.5	LDC Art.2-Ch.4-64	Construction Field Office	None	Temporary buildings and storage areas for construction purposes may be permitted by the Building Official
13.5	LDC 4.3	Use Regulations		See Table 13.4

LDC Enhancements

PDD Section	CoSM Section	Subject	Existing Regulation	PDD Enhancement
3.1	LDC	Parks & Open Space	None	Approximately 58 Acres or 69% of 84.2 total acres of open space will be maintained in perpetuity by the Trace HOA.
N/A	N/A	N/A	N/A	Dedication of 3 acres for the development of a fires station.
3.2	LDC 7.6.1.2	Parkland Dedication	5 acres per 1,000 residents = 22.4 acres	Trace contains 30.3 acres of parkland for dedication
3.3.1	LDC 7.1.1.1	Public Central Park	None	A public central park with 7 acres public and 2 acres private for an amenity center will be centrally located in the community
3.3.1	LDC 6.1.1.4	Required Landscape Area Standards	None	Public Central Park: On-Site trees shall be provided at a rate of one (1) tree per 30 lineal feet of street frontage and shall be clustered and located in a way that provides programing for active spaces; minimum two (2) inch caliper. A minimum of 50% of required trees must be shade trees.
3.3.1	LDC 6.1.1.4	Required Landscape Area Standards	None	Homeowner Amenity Center: On-site trees shall be provided at a rate of one (1) tree per 1000 square feet of undeveloped area; minimum of 2 inch caliper. A minimum

				50% of required trees must be shade trees.
3.3.2	LDC 7.1.1.1	Neighborhood Pocket Parks	None	5 family friendly pocket parks will be centrally located within different sections of the community; privately maintained by the HOA and having view fencing with gates for direct access to pocket parks by adjacent homeowners.
3.3.2	LDC 7.1.1.1	Neighborhood Pocket Parks	None	On-site trees shall be provided at a rate of one (1) tree per 1000 square feet of park area; minimum of 2 inch caliper. A minimum of 50% of required trees must be shade trees.
3.3.2	LDC 7.6.1.3	Public Park Access	Parks shall be open to public view	Parks will have a least 2 sides visible from a public street including the pocket parks
3.3.3	LDC 7.1.1.1	Trails	None	2-3 miles of trails 6-12 feet in width, permanently maintained by HOA.
3.3.3	LDC 7.1.1.1	Trails	None	Trees shall be provided at a rate of 1 tree per 50 linear feet of trail, except where located with environmental buffer areas and within electrical easements.
3.4	LDC 7.1.1.1	Elementary School	None	12 acres set aside for use by the San Marcos Consolidated Independent School District

4.1	TDM Table 1-1	Residential Street	Landscaping: both sides 6'	Landscaping; both sides 7'
4.1	TDM Table 1-1	Residential Street	4' Sidewalk both sides '	At Park & School – Sidewalk 5' both sides
4.1	TDM Table 1-1	Residential Collector	Landscaping: both sides 5.5'	Landscaping: both sides 7 to 12'
4.1	TDM Table 1-1	Residential Collector	Sidewalks: 5'	Sidewalks and Bike Path combined for a 12' path on both sides
4.1	TDM Table 1-1	Residential Collector	Bike Path: None	
4.1	TDM Table 1-1	Residential Collector	Sidewalks: 5'	Sidewalks: 6' both sides
4.1	TDM Table 1-1	Residential Collector	Bike Path: None	Meandering 12' combination path is provided in the linear park area.
4.1	TDM Table 1-1	Residential Collector	Median: 4'	Median: 16' (50' along a portion of Street Section CC to accommodate sewer easement)
4.1	TDM Table 1-1	Commercial Collector	Median: 4'	Median: 20' with bio-swale and turn lanes
4.1	TDM Table 1-1	Commercial Collector	Sidewalks: 5'	Concrete Sidewalk: 5' one side; 10' trail one side
4.1	TDM 1.6.7	Commercial Collector	Blocks lengths may be up to 2,000' in length	Block lengths shall be a maximum of 1,650'; 1,400
4.2	LDC 7.4.1.4	Cul-De-Sacs	None	Landscape areas shall be provided within the circular area of the cul-de-sac to include at least 1 street tree.
4.2	LDC 7.4.1.4	Cul-De-Sacs	None	Cul-de-sacs shall include pedestrian access from the end of the cul-de-sac to the next adjoining street
4.3	LDC 7.4.2.2	Alleys	No use requirement	Alley loaded product shall be required along the entire length of Street Sections AA and CC

4.3	LDC 7.4.2.2	Alleys	No use requirement	Alleys shall be required adjacent to all lots 40' wide and smaller.
4.4	LDC 7.4.1.4 (j)	Max. Block Length	Block length shall not exceed 1,200'	Block length shall not exceed 1,100' in residential areas
4.6	LDC 6.1.1.4 (b)(2)	Street Trees	1 per 50 LF of street frontage	1 per 30 LF of street frontage along Street Sections AA, BB, CC, DD, EE
4.6	LDC 6.1.1.4 (b)(2)	Street Trees	1 per 50 LF of street frontage	1 per 50 LF of street frontage along all Enhanced Residential Sections
4.6	LDC 6.1.1.4 (b)(2)	Street Trees	None	Secondary tier of Ornamental trees shall be planted 1 per every 5 street trees on road sections AA, BB, CC, DD, EE.
4.6	LDC 6.1.1.4	Median Trees	None	Street trees shall be provided within the median of Street Sections AA, BB, DD, and EE at one (1) ornamental tree per 30 lineal feet of street frontage; minimum of 2" caliper.
4.6	LDC 6.1.1.4	Median Trees	None	Street trees shall be provided within the median of Street Sections CC at two (2) trees per 30 lineal feet of street frontage; minimum of 2" caliper. A minimum of 50% of required street trees may be ornamental.
4.6	LDC 6.1.1.4	Street Trees	None	Street trees located along Enhanced Residential Streets shall be installed at the time of construction of improvements and shall be warranted by the builder for a

				minimum period of 2 years.
4.7	LDC 5.1.1.3 (d)	Runoff Attenuation	LID practices may be used	The medians of Residential Collector roads shall contain ribbon curbs, and vegetative bio-swales
5.2	LDC 4.2.1.5	SF-6, Single Family District	None	All lots 40' wide and less, shall not have front loaded garages and shall be alley loaded.
6	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring a mix of one and two story units.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring spacing between one and two story single family units
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring spacing between repeating colors on buildings.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring a variety of colors on buildings.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring massing and roof form change on all facades fronting and siding to a public street.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring minimum provision of architectural details on all facades fronting, siding, or backing to a public street.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring variation in roof design.

6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring variation in ridgeline and eave height.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring variation in roof color.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring minimum standards for the design of front porches.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring minimum standards for combinations of building materials on facades.
6.1	LDC 4.2.1.5	SF-6, Single Family District	None	Enhanced Architectural Standards requiring standards for front loaded garages doors
6.2	LDC 4.4.3.2 (2)	Building Design – Materials (Multi-Family)	None	Enhanced Architectural Standards requiring variation in building materials.
6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards regarding design of buildings on corner lots.
6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards requiring additional horizontal articulations along facades visible from public view.
6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards requiring additional vertical articulations along facades visible from public view.

6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards requiring additional ground-level articulations along facades visible from public view.
6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards requiring minimum architectural design standards for entry elements on facades.
6.3	LDC 4.4.2.2	Exterior Design of Buildings (non-residential)	None	Enhanced Architectural Standards requiring additional standards for building materials.
7.1	LDC 6.2.2.1	Parking Design & Construction Standards	None	Enhanced site design standards regarding the provision of curbed landscape islands within on-site parking areas.
7.2	LDC 6.2.2.1	Parking Design & Construction Standards	None	Enhanced site design standards requiring mutual access between all parking areas.
7.2	LDC 6.2.2.1	Parking Design & Construction Standards	None	Enhanced site design standards regarding access for lots with less than 250 feet of frontage.
7.1	LDC 6.2.2.1	Parking Design & Construction Standards	None	Pedestrian walkways will be spaced 500' in commercial and office parking lots. They shall be wide enough for an 8' path and supplemental landscape with the possibility to add bio-swales.
8.4	LDC 6.1.2.3	Screening Along Arterial Roadways	Masonry or alternate	Fences along prominent public views to be full masonry or a combination of

				masonry and durable opaque fence
8.5	LDC 6.1.3.2	Residential Fences	Fences may be constructed of wood, decorative metal, chain link, or other traditional material	Fences along non-prominent public views to be stained capped full wood or concrete type
8.5	LDC 6.1.3.2	Residential Fences	Fences may be constructed of wood, decorative metal, chain link, or other traditional material	Residential lots that back to open space to use decorative metal view fence
9.1	LDC 6.1.1.4	Landscaping within parking areas.	No parking space shall be located more than 60 feet from a portion of the required landscaping.	Enhanced landscape standards requiring a minimum of one parking lot tree per 10 parking spaces.
9.2.1	LDC 6.1.1.5 (c)(8)	Xeriscaping	Developers and home builders are encouraged to use xeriscape plant materials	The project shall adhere to the Sensible Landscaping for Central Texas water conservation practices adopted by the Home Builders Association of Greater Austin
9.2.1	LDC 6.1.1.5 (c)(10)	Irrigation control	None	The irrigation system will be weather adaptive with solar, rain, or soil moisture sensors and weather synchronized irrigation controllers

13.4 Illustrations in 11" x 17" format

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Illustration 423:
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Survey Map
Survey Map Notes

13.5 Applicable Ordinances

- 13.5.1** City Code of Ordinances, Subpart B – Land Development Code, Chapter 4, Article 2, Division 1, Section 4.2.1.5 - SF-6, Single-Family District; Section 4.2.1.6 - SF-4.5, Single-Family District; Section 4.2.1.9 - TH, Townhouse Residential District; and Section 4.2.1.10 - PH-ZL, Patio Home, Zero-Lot-Line Residential District Design Standards
- 13.5.2** City Code of Ordinances, Subpart B – Land Development Code, Chapter 4, Article 4, Division 2, Section 4 - Procedure for Determining Alternative Exterior Materials
- 13.5.3** City Code of Ordinances, Subpart B – Land Development Code, Chapter 4, Article 4, Division 3 – Multi Family Residential Design Standards
- 13.5.4** City Code of Ordinances, Subpart B – Land Development Code, Chapter 6, Article 1, Division 1, Section 4 – Required Landscape Area Standards
- 13.5.5** City Code of Ordinances, Subpart B – Land Development Code, Chapter 6, Article 1, Division 2, Section 1 - Non Residential and Multi-Family Screening Required (New Construction)
- 13.5.6** City Code of Ordinances, Subpart B – Land Development Code, Chapter 6, Article 5 – Lighting and Glare Standards
- 13.5.7** City of San Marcos - Land Development Code, Technical Manual, Article 2: Preferred Plant List, Division 2 – Blackland Prairie Planting Materials and Division 3 – Discouraged Planting Materials
- 13.5.8** Sensible Landscaping for Central Texas, A Guide for Home Builders and Homeowners
- 13.5.9** City of San Marcos Stormwater Technical Manual, Appendix N - Aesthetically Enhanced Detention and Water Quality Basins
- 13.5.10** City Code of Ordinances, Subpart B – Land Development Code, Chapter 1, Article 5, Division 3 – Petition for Planned Development District, Section 6 – Amendments & Relief Measures
- 13.5.11** City Code of Ordinances, Subpart B – Land Development Code, Chapter 1, Article 6, Division 2 – Subdivision Concept Plats

13.6 - PARKS COST ESTIMATE

Park Amenity:	Cost	Multiplier	Sub-Total	Measurement
1 Asphalt Road - Demolition	\$50	0	\$0	linear foot
2 Asphalt Road - Repair	\$33	0	\$0	per area
3 Bench & concrete pad	\$2,200	0	\$0	unit price
4 Bench - plaque	\$165	0	\$0	unit price
5 Bike Rack	\$550	0	\$0	unit price
6 BB Court - Full Size/colored	\$63,800	0	\$0	unit price
7 BB Court - Half or less/colored	\$58,300	0	\$0	unit price
8 BB Court - colorize existing court	\$3,080	0	\$0	unit price
9 Dog Station (Pet Mitt)	\$330	0	\$0	unit price
10 Fence - wrought Iron 4 ft	\$28	0	\$0	linear foot
11 Fence - Wrought Iron 5 ft	\$35	0	\$0	linear foot
12 Fence - Wrought Iron 6 ft	\$39	0	\$0	linear foot
13 Fence - Plastic/ 5 Ft	\$16	0	\$0	linear foot
14 Fence - Chain Link/6 Ft	\$17	0	\$0	linear foot
15 Fountain - Drinking	\$2,750	0	\$0	unit price
16 Gazebo /structure only	\$44,000	0	\$0	unit price 36 ft
17 Gazebo /slab only	\$22,000	0	\$0	unit price 36 ft
18 Grill - BBQ/ pad with hole	\$385	0	\$0	unit price
19 Grill - Ash container	\$440	0	\$0	unit price
20 Irrigation	\$17	0	\$0	linear foot
21 Landscaping	\$6	0	\$0	square foot
22 Light pole	\$2,750	0	\$0	unit price
23 Light - overhead lighting	\$1,650	0	\$0	unit price
24 Lighting - directional	\$1,650	0	\$0	unit price
25 Parking - Asphalt	\$880	0	\$0	standard size/ 9 by 21 ft
26 Pavilion - structure only	\$55,000	0	\$0	unit price / Buyboard
27 Pavillion - slab only	\$44,000	0	\$0	unit price / Buyboard
28 Picnic Table - 8 foot	\$1,100	0	\$0	unit price
29 Picnic Table - ADA	\$1,430	0	\$0	unit price
30 Playscape - Open	\$27,500	0	\$0	unit price
31 Playscape - integrated/covered	\$53,900	0	\$0	unit price
32 Playscape/Playground - Fibar	\$385	0	\$0	per load cost
33 Sidewalk - 4 foot wide	\$19	0	\$0	linear foot
34 Sidewalk - 6 foot wide	\$30	0	\$0	linear foot
35 Sidewalk - 8 foot wide	\$41	0	\$0	linear foot
36 Shade trees - 3 inch diameter	\$220	0	\$0	unit cost
37 Sod - full coverage	\$10,048	0	\$0	bid
38 Trail - Decomposed Granite	\$7	0	\$0	square foot
39 Trail - Limestone 8 ft wide	\$8	0	\$0	linear foot
40 Trash Cans & inground mounts	\$1,210	0	\$0	unit price
41 Signage - standard PARD sign	\$3,300	0	\$0	unit price
42 Other - remove dead tree	\$220	0	\$0	unit price
43 Other - install ADA ramp to playscape	\$495	0	\$0	unit price
44 Other - water meter/ installation	\$2,200	0	\$0	city cost
45 Other - enviro review / public notices	\$550	0	\$0	city cost

Construction	\$0	
A/E	\$0	12%
Sub-Total	\$0	
Allow	\$0	10%

Total Cost	\$0
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