

CONDITIONAL USE PERMIT / ALTERNATIVE COMPLIANCE (GENERAL) APPLICATION



Updated: October, 2019

CONTACT INFORMATION

Applicant's Name	Carlos Iglesias	Property Owner	
Company	Cumulus Design	Company	Greater Texas Credit Union
Applicant's Mailing Address	2080 N Hwy 360, Suite 240, Grand Prairie, Texas 75050	Owner's Mailing Address	4411 N. Lamar, Austin, TX 78752
Applicant's Phone #	214-235-0367	Owner's Phone #	281-898-1185
Applicant's Email	carlos@cumulusdesign.net	Owner's Email	mike.trapnell@gtcu.org

PROPERTY INFORMATION

Subject Property Address: 242 N Guadalupe St, San Marcos, Texas 78666

Zoning District: CD- 5D

Tax ID #: R 41617

Legal Description: Lot N 1/2 of 1 Block 20

Subdivision _____

DESCRIPTION OF REQUEST

Please use this space to describe the proposal. Attach additional pages as needed.

Requesting alternative compliance for Project No.: 2020-31215; Project Location: 242 N Guadalupe St.

- Section 4.3.3.3.E.1 Build-To Zone-Nonconforming Build-to Requirement- Additions
- Section 4.3.3.3.E.1 Build-To Zone-Nonconforming Build-to Requirement- Alternative Compliance Findings
- Section 4.3.4.4 Minimum Two-Story Requirements

AUTHORIZATION

I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.

Initial Filing Fee \$793*

Technology Fee \$13

TOTAL COST \$806

Renewal/Amendment Filing Fee \$423*

Technology Fee \$13

TOTAL COST \$436

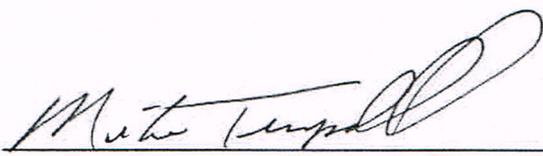
**Nonprofit Organization fees are 50% of the adopted fee listed for Conditional Use Permits*

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

PROPERTY OWNER AUTHORIZATION

I, Mike Trapnell (owner name) on behalf of
Greater Texas Credit Union (company, if applicable) acknowledge that I/we
am/are the rightful owner of the property located at
242 N Guadalupe St., San Marcos, Texas 78666 (address).

I hereby authorize Carlos Iglesias (agent name) on behalf of
Cumulus Design (agent company) to file this application for
CONDITIONAL USE PERMIT / ALTERNATIVE COMPLIANCE (GENERAL) (application type), and, if necessary, to work with
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner:  Date: 5/19/2020
Printed Name, Title: Mike Trapnell

Signature of Agent:  Date: 5/19/2020
Printed Name, Title: Carlos Iglesias

Form Updated October, 2019

**AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS
AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS**

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

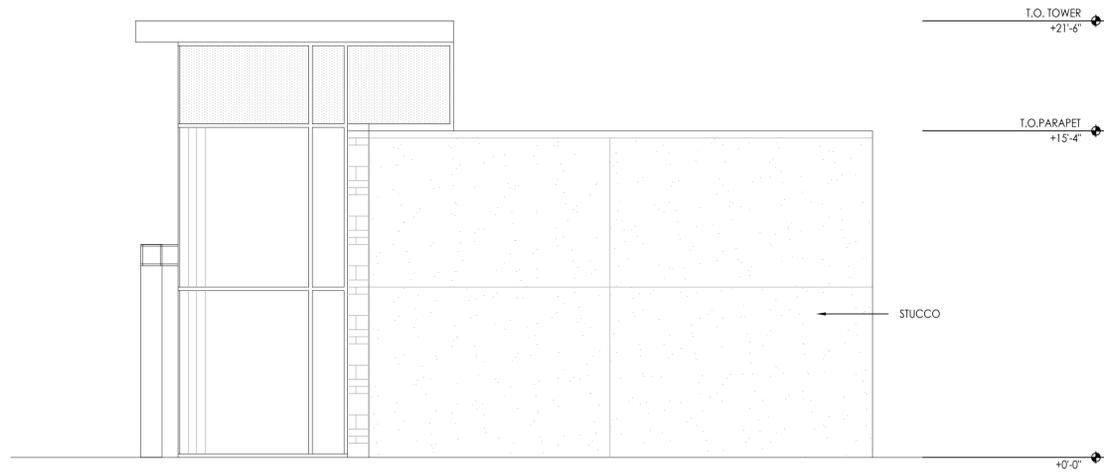
- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.

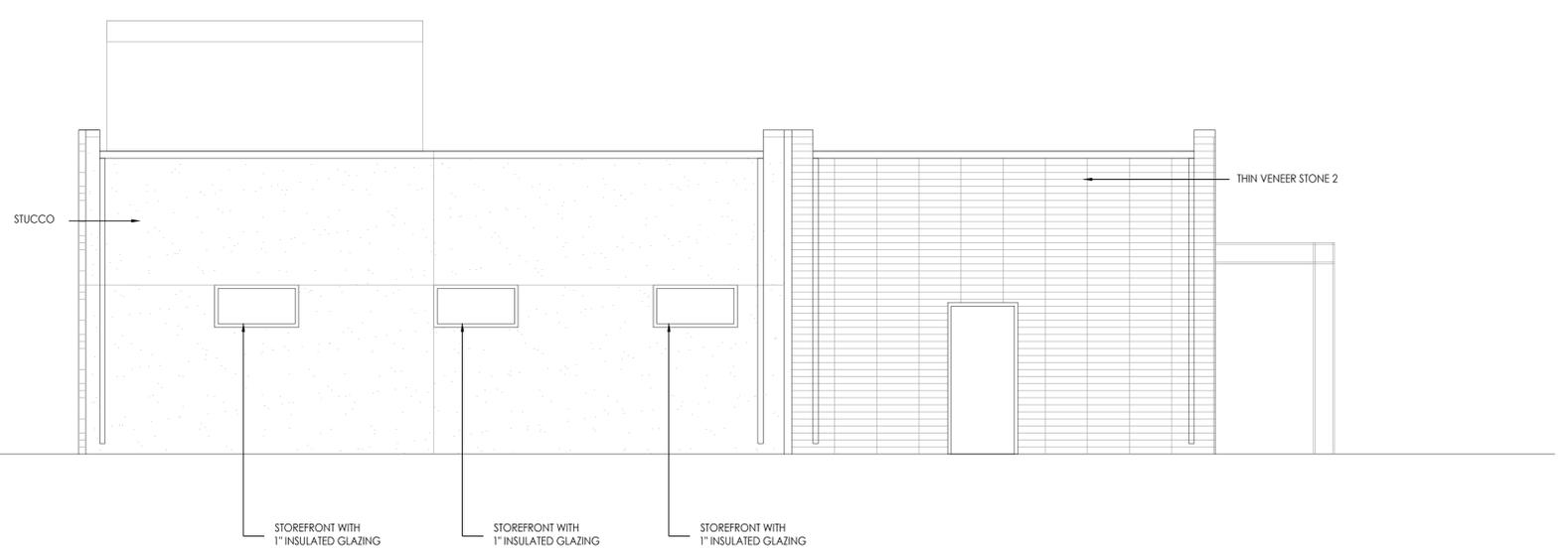
Signature: 

Date: 5/19/2020

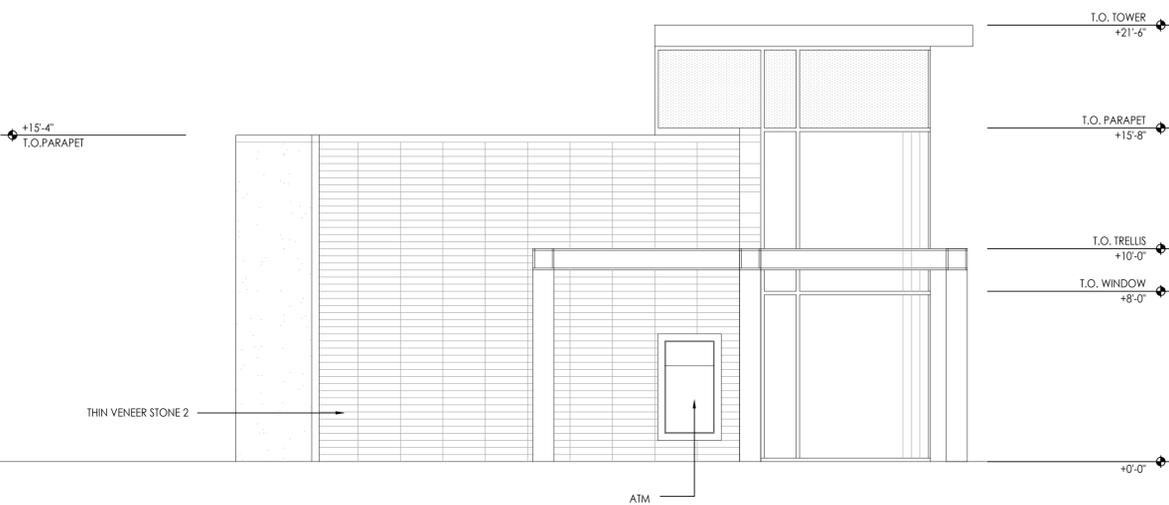
Print Name: Carlos Iglesias



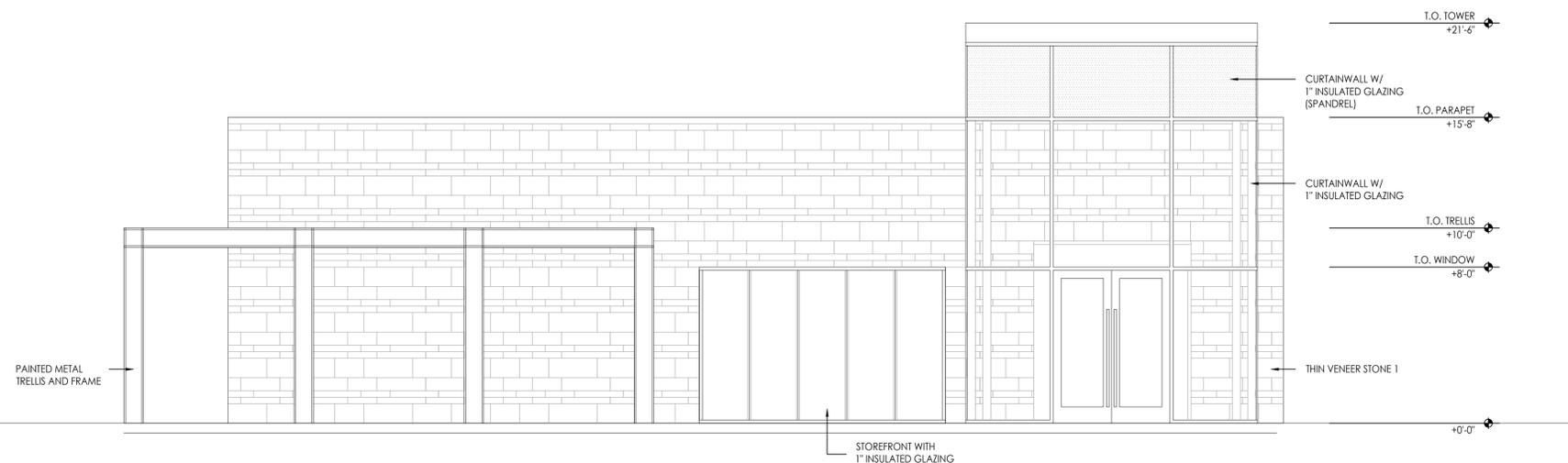
03 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



04 EAST ELEVATION
SCALE: 1/4"=1'-0"



01 NORTH ELEVATION
SCALE: 1/4"=1'-0"



02 WEST ELEVATION
SCALE: 1/4"=1'-0"

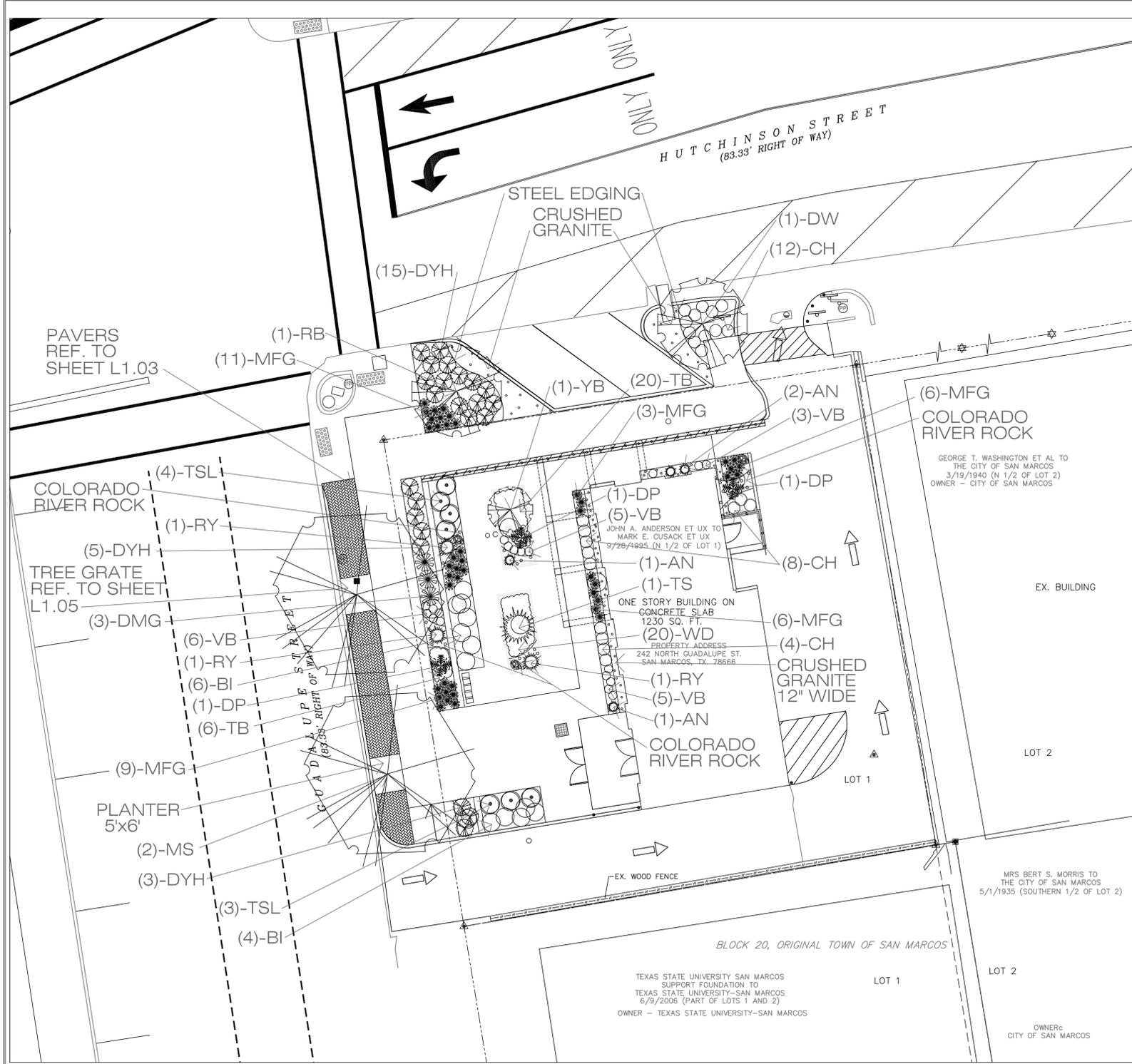
CONCEPT ELEVATIONS

MARCH 30, 2020
RA PROJECT # 2019066

GREATER TEXAS FEDERAL CREDIT UNION
GUADALUPE ST. & HUTCHISON ST.
SAN MARCOS, TX



1445 ROSS AVENUE | SUITE 5700 | DALLAS TEXAS 75202



01 LANDSCAPE PLAN
SCALE: 1" = 10'-0"

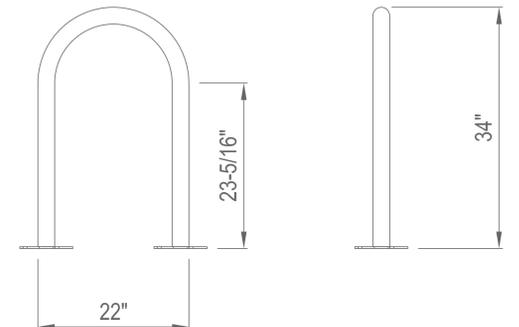
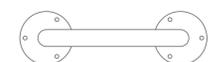


PLANT LIST

KEY	QUANTITY	TREES DESCRIPTION	SIZE
MS	2	PLATANUS MEXICANA MEXICAN SYCAMORE	3" CAL., MIN. 4' SPREAD, MIN. 12 FT. HT.
KEY	QUANTITY	ORNAMENTAL TREES DESCRIPTION	SIZE
DW	1	CHILOPSIS LINEARIS DESERT WILLOW	2" CAL., 8' HT., 3' SPREAD
RB	1	CERCIS CANADENSIS 'OKLAHOMA' REDBUD	30 GAL., 8' HT., 3' SPREAD
KEY	QUANTITY	SHRUBS DESCRIPTION	SIZE
AN	4	YUCCA FILAMENTOSA 'COLOR GUARD' ADAM'S NEEDLE	3 GAL., MIN. 15" HT., A.S.
CH	24	ILEX BURFORDII 'CARISSA' CARISSA HOLLY	5 GAL., MIN. 15" HT., 36" O.C.
DP	3	SABAL MINOR DWARF PALMETTO	5 GAL., MIN. 12" HT., 12" SPD., 24" O.C.
BI	10	DIETES BICOLOR BICOLOR IRIS	1 GAL., FULL PLANT 16" O.C.
DYH	23	ILEX VOMITORIA 'NANA' DF. YAUPON HOLLY	5 GAL., MIN. 24" HT., 36" O.C.
YB	1	TECOMA STANS VAR. ANGUSTA ESPERANZA YELLOW BELLS	5 GAL., 18" HT., MIN. 24" SPD., MIN. 36" HT.
TS	1	DASYLIRION TEXANA TEXAS SOTOL	5 GAL., 24" HT., MIN. 24" SPD., MIN. 36" HT.
RY	3	HESPERALOE PARVIFOLIA RED YUCCA	5 GAL., MIN. 15" HT., 36" O.C.
TSL	7	LEUCOPHYLLUM LANGMANIAE TEXAS SAGE 'LYNN'S LEGACY'	5 GAL., MIN. 24" HT., 36" O.C.
KEY	QUANTITY	GROUND COVER, GRASSES & PERENNIALS DESCRIPTION	SIZE
TB	26	STACHYS COCCINEA TEXAS BETONY	5 GAL., 24" HT., MIN. 24" SPD., MIN. 30" HT.
VB	19	VERBENA CANADENSIS 'HOMESTEAD PURPLE' HOMESTEAD VERBENA	1 GAL., 6" HT., MIN. 8" SPD., MIN. 18" O.C.
WD	20	WEDELIA HISPIDA ORANGE ZEXMENIA	1 GAL., 6" HT., MIN. 8" SPD., MIN. 24" O.C.
MFG	35	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL., FULL PLANT 16" O.C.
DMG	3	MISCANTHUS SINENSIS 'GRACILLIMUS' DWARF MAIDEN GRASS	1 GAL., FULL PLANT 24" O.C.

NOTES:

ALL UNCOVERED AREAS DISTURBED DURING THE PROJECT, INCLUDING ANY OFFSITE DISTURBED AREAS, MUST BE PERMANENTLY STABILIZED WITH SOD INSTALLATION, HYDROMULCH SEEDING, PLANTING, AND/OR INSTALLATION OF OTHER APPROVED LANDSCAPE MATERIALS, PROVIDED THAT LDC MINIMUM LANDSCAPING REQUIREMENTS ARE MET. REMOVE ALL DEBRIS AND FIX ALL RUTS/FINAL GRADE ALL DISTURBED AREAS; DO NOT BURY OR SOD/SEED OVER DEBRIS OR SILT FENCE, ETC. INSTALL AT LEAST 6" OF SCREENED TOP SOIL (NOT GRADED CLAY, BASE MATERIAL, OR SAND) PRIOR TO VEGETATING. PROVIDE TEMPORARY IF INCLUDED IN LANS) WATERING SUFFICIENT TO ACHIEVE PERENNIAL VEGETATIVE COVER OF AT LEAST 70% DENSITY EVENLY DISTRIBUTED WITH NO LARGE BARE AREAS. WINTER RYE OR ANNUAL RYEGRASS ALONE ARE NOT ACCEPTED AS PERMANENT STABILIZATION.

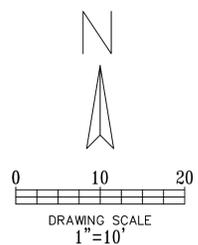


NOTES:

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWINGS.

BIKE RACK DETAIL

SCALE: NTS



CITY OF SAN MARCOS
ZONED: CD-5 DOWNTOWN

SITE AREA = 6,592 S.F.

REQUIRED LANDSCAPE:
10% OF THE SITE - 6,592 S.F. = 659 S.F.

PROVIDED LANDSCAPE:
11% OF THE SITE - 672 S.F.

(1) TREE & (3) 5 GAL. SHRUBS FOR EACH 1,000 S.F. OF REQUIRED LANDSCAPE

REQUIRED	PROVIDED
(1) TREE 2.5' CAL.	(1) TREE 3' CAL.
(3) SHRUBS 5 GAL.	(38) SHRUBS 5 GAL.

REQUIRED STREETSCAPE:
(1) TREE PER 30' O.C. AVG. @ 66 L.F. IN PLANTER 5' MIN.

REQUIRED	PROVIDED
(2) TREE 2.5' CAL.	(2) TREE 3' CAL.

(4) BIKE SPACES
NO EXISTING TREES ON SITE

IRRIGATION TO BE PROVIDED WITH PERMANENT AUTOMATIC UNDERGROUND SYSTEM

Cumulus Design
Firm #14810
2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367



05/27/20

LANDSCAPE PLAN
242 N GUADALUPE ST,
CITY OF SAN MARCOS
HAYS COUNTY, TEXAS

GREATER TEXAS
CREDIT UNION

PLOT DATE	05/27/20
DRAWING SCALE	1"=10'
PROJECT NUMBER	CD19038
SHEET NUMBER	L1.01

JCL
J. CAMILLE LA FOY
LANDSCAPE ARCHITECTURE CONSULTING
1402 NORTH GREENVILLE AVENUE, 1042
ALLEN, TEXAS 75002
214-404-4042

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LANDSCAPE SPECIFICATIONS

Section One – General

A. Requirements

- All work to be performed in accordance with all applicable laws, codes and regulations by authorities having jurisdiction over such work. Landscape contractor to provide all required permits and inspections as required under the scope of this work.
- Landscape Contractor is responsible for contacting all utility companies or other such agencies for the location and type of underground utility which may be within the scope of work to be performed by the contractor.
- Damage to any or all underground utilities is the responsibility of the Landscape Contractor.

B. Quality Assurance

- Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing rate.
- Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug up.
- Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
- Employ only qualified personnel familiar with required work.
- Off-site topsoil and on-site testing (paid by Landscape Contractor):
 - Provide source of off-site soil to the Landscape Architect for purposes of soil investigation.
 - Take random representative soil samples from areas to be planted.
 - Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, sodium content, and organic matter.

C. Referenced Standards

- American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. – Plant materials.
- Hortus Third, 1976 – Cornell University Plant nomenclature.
- ASTM – American Standard Testing Material – Sharp sand.

D. Submittals

- Submit for approval sufficient representative quantities of soil mix, mulch, and peat moss.
- Submit one sample of each specified tree and three samples of each specified shrub and groundcover plants for Landscape Architect's approval. When approved tag, install, and maintain as representative samples for final installed plant materials.
- File certificate of inspection of plant materials by State and Federal authorities with Landscape Architect, if required by state.

E. Product delivery, storage, and handling

- Preparation for delivery:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in containers sufficiently rigid to hold ball shape and protect root mass during shipping.
- Delivery:
 - Deliver packaged materials in sealed containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
 - Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. The owner will not be held responsible for theft or damage.
 - If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
 - Protect during delivery to prevent damage to root ball or dessication of leaves.
 - Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site.

H. Job conditions:

- Planting restrictions:
 - Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice.
- Protections:
 - Do not move equipment over existing or newly placed structures without approval of Landscape Architect and General Contractor.
 - Provide board-roading and sheeting as required to protect paving and other improvements from damage.
 - In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
- Utilities:
 - Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.

H. Warranty:

- Warrant plants and trees for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Landscape Architect. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, diseases, owner negligence or acts of God.
- At the end of the warranty period, staking, and guying material shall be removed from the site.

L. Maintenance:

- Water will be available on-site. Provide necessary hoses and other watering equipment required to complete work.
- Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning, and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- A written notice requesting final inspection and acceptance should be submitted to Landscape Architect seven (7) days prior to completion. At that time Owner and Landscape Architect will prepare a final punch list to be reviewed with Landscape Contractor. When such project is deemed complete by Landscape Architect, an on-site inspection by Owner, Landscape Contractor, and Landscape Architect will be completed prior to written acceptance.
- Following that acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

Section Two – Products

A. Plants:

- Quantities: The drawings and specifications are complimentary, anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Plants shall be equal to well formed No. 1 grade or better, symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of the species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after lanting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
- Plants shall have a well-developed fibrous root system.
- Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
- Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the owner.
- Plants shall meet the sizes indicated on the Plant List, where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
- Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
- Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.

B. Soil Preparation Materials:

- Peat Moss: Commercial sphagnum moss or hyphum peat, or decomposed gin trash with pH between 5 and 7. The gin trash shall be sterilized to eliminate all active residuals, i.e., insecticides, pesticides, herbicides, fungus, virus and defoliant chemicals.
- Pre mixed soils will be considered as "approved equals" when samples are submitted with manufacturer's data and laboratory test reports. Approved suppliers include Vital Earth Complete Mix by Vital Earth Resources, Gladewater, Texas and Acid Gro Complete Mix by Soil Building Systems, Inc., Dallas, Texas.
- Sandy Loam:
 - Friable, fertile, dark, loamy, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing Dallisgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7–27 percent
 - Silt – between 28–50 percent
 - Sand – less than 52 percent
- Sharp sand: Clean, washed sand, (fine aggregate) ASTM C–33

C. Commercial Fertilizers:

- Fertilizer shall be delivered in manufacturer's standard container printer with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N–P–K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
- Commercial fertilizer for planting beds: Complete fertilizer 5–10–5 element ratio with maximum 8% sulfur and 4% iron plus micro-nutrients.
- Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 20–10–5 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 95035 or approved equal.

D. Mulch:

- Bark mulch shall be shredded hardwood mulch, medium fine texture.

E. Water:

- Water shall be suitable for irrigation and shall be free from ingredients harmful to plant life.

F. Miscellaneous Materials:

- Steel edging: Pro-Steel, 16' x 1/8" x 4" painted green or equal.
- Bed Preparation: Professional Bedding Soil in the beds and Potting Soil in the containers. Living Earth Technology Co., Dallas, Tx. Submit sample for approval.
- Staking or Guying Materials:
 - Wood Stakes: 2" x 4" x 30" dense pine, untreated.
 - T-Shaped Metal Posts: Paint flat black, 8 feet long.
 - Turn Buckles: Galvanized steel, 3/8 inch eye, 6-inch opening.
 - Lie Wire: 12 gauge galvanized wire.
 - Black Hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter.

- Filter Fabric: Mirafi MSCAPE or equal under all gravel areas. Tencate, 365 South Holland Dr., Pendergrass, GA 30567. Submit sample for approval.
- Crushed Granite: 5/8"–1", New Braunfels Landscape Supply, New Braunfels, Tx. Submit sample for approval.
- Rainbow River Rock: 2", New Braunfels Landscape Supply, New Braunfels, Tx. Submit sample for approval.
- Boulders: Landscape boulders to be moss covered. Sizes indicated are approx., New Braunfels Landscape Supply, New Braunfels, Tx. Submit sample for approval.

Section Three – Execution

A. Condition of Surfaces:

- New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
- Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions.

B. Tree Planting:

- Stake tree locations for Landscape Architect's approval prior to digging.
- Plant ornamental trees in pits 12–inches larger than root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
- After excavation of tree pits, review water percolation with Landscape Architect. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
- In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6) inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal of the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peat moss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
- Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6–inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer lanting tablets per manufacturers recommendations. Complete backfilling and form a saucer around the tree. Fill saucer with water and leave to soak in. Fill saucer wit water.
- Completely fill each tree sauce with mulch to a depth of two inches.
- Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the Contractor will be required to guy and/or stake those trees in a method acceptable to the Landscape Architect at no additional cost to the Owner.
- Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at least one-third of wood by thinning and pruning. DO NOT cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
- After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

C. Shrub Planting:

- Layout planting beds for Landscape Architect's approval prior to digging.
- All shrubs to be pocket planted. Excavate planting hole 1–1/2 times the width and height of the root ball. Backfill with 1/3 compost, 1/3 native soil and 1/3 sandy loam.
- Place plants in position on bed areas before cans have been removed. Obtain approval from Landscape Architect, do not remove burlap from B&B plants. Landscape Architect reserves right to interchange or shift plant prior to plant.
- Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- Water each plant thoroughly with hoses to eliminate air pockets.
- Carefully prune plants to remove dead or broken branches and hand rake bed areas to smooth even surfaces.
- After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

D. Groundcover Planting:

- Lay out planting beds for the Landscape Architect's approval prior to digging.
- Till 2 inches minimum of thoroughly mixed prepared soil in all planting bed areas as follows.
 - 2 inches of specified "Complete Mix," from Living Earth Technology.
- Place plants in position on bed areas before cans have been removed. Obtain approval from Landscape Architect. Landscape Architect reserves right to interchange or shift plants prior to planting.
- Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- Water each plant thoroughly with hoses to eliminate air pockets.
- Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces.
- After planting has been completed and approved by Landscape Architect, mulch bed areas 2 inches deep.

Part Two:

Section One – General

The contractor is to render the following Landscape Maintenance Services during the term of the initial construction contract. In addition, the Contractor is to indicate a price for a one year extended maintenance contract to begin after the construction project is complete and accepted. This price is to be submitted on a separate line item.

A. Scope:

- Work included in Base Bid. Perform all work necessary utilizing acceptable horticultural practices for the exterior landscape maintenance of the project as required herein. Such work includes, but is not limited to the following:
 - Monitoring adjustment and minor repair of the landscape irrigation system. Provide as-built drawings to Owner at completion.
 - Protection of vacuum breakers against freeze damage.
 - Mowing, edging and trimming of trees and shrubs.
 - Pruning and trimming of trees and shrubs.
 - Resaking and adjustment of stakes and guying if required.
 - Approval, by Owner, of material substitutions prior to use.
 - Application of fertilizers, insecticides and herbicides
 - Replacement of plant material (extra service)
 - General site clean up and removal of trash and product of maintenance.

B. Extra Services:

- The intent of the contract is to provide a comprehensive maintenance program to include all required services, except those services specifically excluded, to perform the work for the state time period.
- All services not included in the base bid shall be considered "extra services" and will be charged for separately according to the nature of the item of work. The written consent and authorization of the Owner of their authorized representative must be obtained prior to the performance or installation of such "extra services" items and prior to purchase of any chargeable materials.
 - Such work may include replacement of dead plant material or major repairs of irrigation system created by acts of vandalism or other contractors or other site related work.
 - Authorized extra services work must be summarized weekly and submitted with receipts to the Owner.
 - The Owner is not bound by the specifications or contract to utilize the landscape maintenance contractor in the performance of "extra service work."
 - The landscape maintenance contractor shall coordinate his activities with other contractors on the site so as to not hinder the performance of any work.
 - Authorized charges for extra work will be paid monthly.

C. Substitutions:

- Specific reference to manufacturer's names and products specified in the Section are used as standards, but this implies the right to substitute other material or methods without written approval of the Owner. Such permission must be secured without additional cost to Owner.
- Installation of any approved substitutions Contractor's responsibility. Any changes required for installation of any approved substitution must be made to the satisfaction of any without additional cost to Owner.

D. Schedule:

- All work under this Contractor shall be performed in accordance with the Schedule submitted by landscape maintenance Contractor and approved by Owner and/or his representative.

E. Contractor's Performance:

- The Contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the Contractor's presence on the site shall be as inconspicuous as possible.
- The intent and spirit of this project manual is to provide a guideline for the contractor to follow in order to provide ownerwith landscape maintenance services of the highest quality. Where the manual refers to "as-needed" or "as-required" the intent if for the contractor to perform the services necessary to maintain the property at the highest possible quality level. Nothing contained within this project manual shall be interpreted as relieving the contractor or his responsibility to perform with wrok in a professional manner and to the complete satisfaction of the Owner.
- If disputes arise as to the quality fo teh services performed the Owner or Owner's designated representative shall make the final determination of responsibilities.

F. Neglect and Vandalism:

- Turf, trees or plants that are damaged or killed due to Contractor's operations, negligence or chemicals shall be replaced at no expense to the Owner. If plant damage or death is caused by conditions beyond the Contractor's control, replacement shall be at the Owner's expense.
- Sprinklers or structures that are damaged due to the Contractor's operations must be replaced by the Contractor promptly. Likewise, damage to the irrigation system by others shall be corrected immediately by the Contractor, at the Owner's expense.
- All water damage, either natural or man-made, resulting from Contractor's neglect shall be corrected at the Contractor's expense.
- All damage to or thefts of landscaping and irrigation installations not caused or allowed by the Contractor shall be corrected by the Contractor at the Owner's expense upon receipt of written authorization to proceed.

G. Job Conditions:

- Contractor shall acquaint himself with all site conditions. Should excavation be required, the Contractor shall promptly notify the utility coordination committee for utility locations. Failure to do so will make Contractor liable for any and all damage thereto arising from his operations.
- Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, this Contractor shall repair damage to its original condition or furnish and install equal replacement at this expense.

H. Emergencies:

- The Contractor shall answer emergency or complaint calls within twelve (12) hours and corrective action shall be complete within 24 hours.
- The Contractor shall answer emergency calls regarding the landscape irrigation system failure or need of repair, and take corrective action within eight (8) hours. Such work, unless caused due to neglect on the part of the Landscape

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LANDSCAPE SPECIFICATIONS

242 N GUADALUPE ST,

CITY OF SAN MARCOS

HAYS COUNTY, TEXAS

GREATER TEXAS
CREDIT UNION

PLOT DATE

05/27/20

DRAWING SCALE

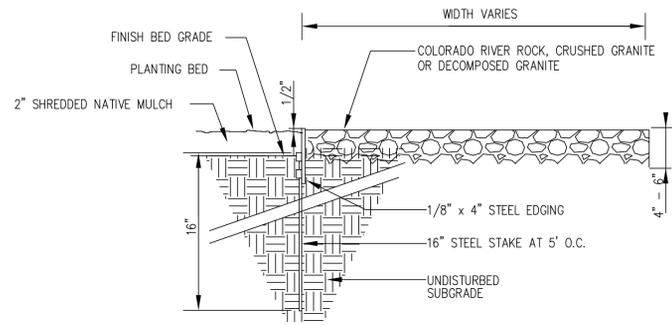
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PROJECT NUMBER

CD19038

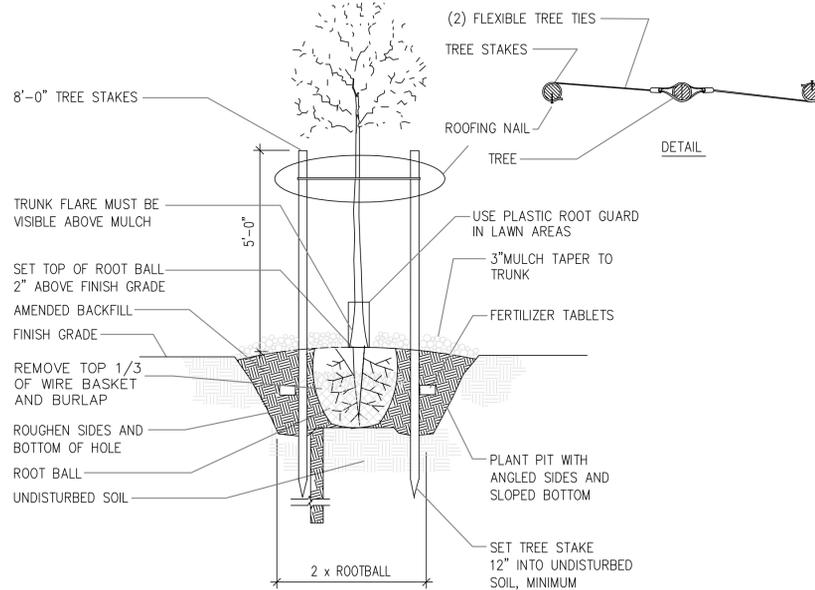
SHEET NUMBER

L1.02



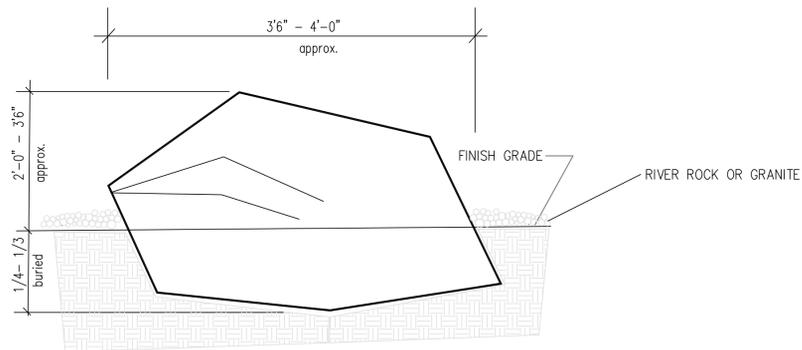
A STEEL EDGING DETAIL

SCALE: NTS



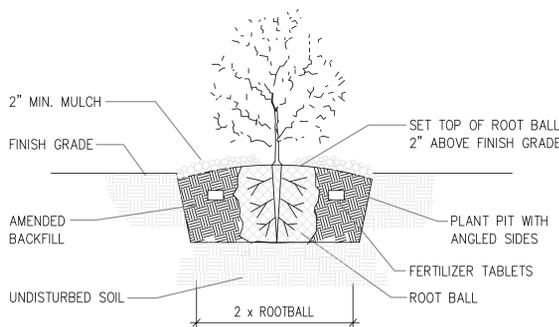
C TREE PLANTING AND STAKING

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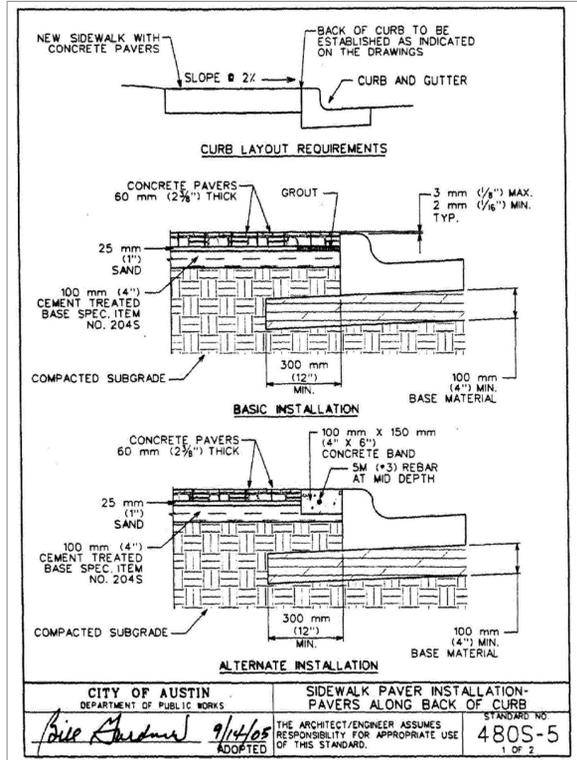
B BOULDER PLACEMENT DETAIL

SCALE: NTS



D SHRUB PLANTING DETAIL

SCALE: NTS



CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK PAVER INSTALLATION- PAVERS ALONG BACK OF CURB	STANDARD NO. 480S-5
<i>Bill Adams</i> 9/14/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	2 OF 2

- NOTES:
1. THE CONCRETE PAVERS SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATION ITEM NO. 480S, "CONCRETE PAVER UNITS".
 2. THE GROUT MIX SHALL MEET THE REQUIREMENTS OF SECTION 485S.3.E, "GROUT MIX" OF STANDARD SPECIFICATION ITEM NO. 485S, "CONCRETE PAVER UNITS FOR SIDEWALK RAMPS".
 3. THE FIRST TWO ROWS OF CONCRETE PAVERS ADJACENT TO THE BACK OF CURB SHALL BE SET IN A 25 mm (1") THICK GROUT LAYER.
 4. AS AN ALTERNATE TO SETTING THE FIRST TWO ROWS OF CONCRETE PAVERS IN A GROUT LAYER, A PC CONCRETE BAND (CLASS A, ITEM 403S, "CONCRETE FOR STRUCTURES"), 100 mm (4") DEEP AND 150 mm (6") WIDE, SHALL BE CONSTRUCTED ALONG THE BACK OF CURB.

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	SIDEWALK PAVER INSTALLATION- PAVERS ALONG BACK OF CURB	STANDARD NO. 480S-5
<i>Bill Adams</i> 9/14/05 ADOPTED	THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.	2 OF 2

E PAVER DETAIL

SCALE: NTS

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LANDSCAPE DETAILS
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HAYS COUNTY, TEXAS

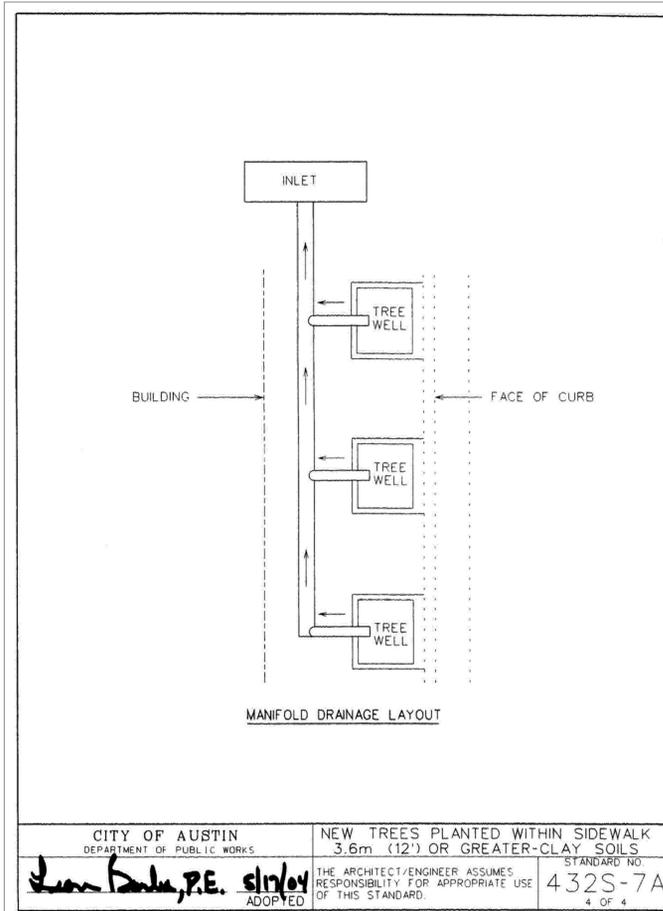
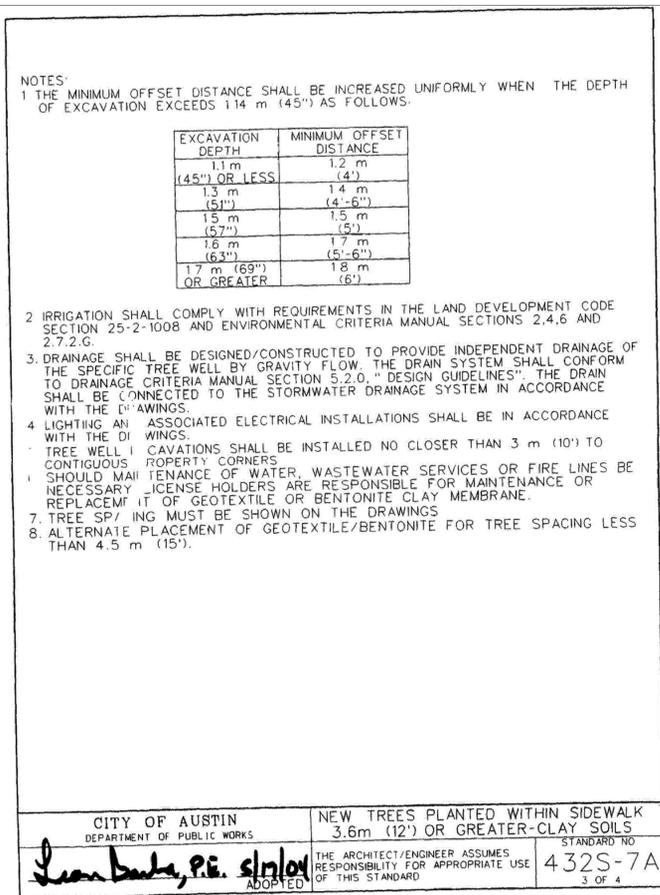
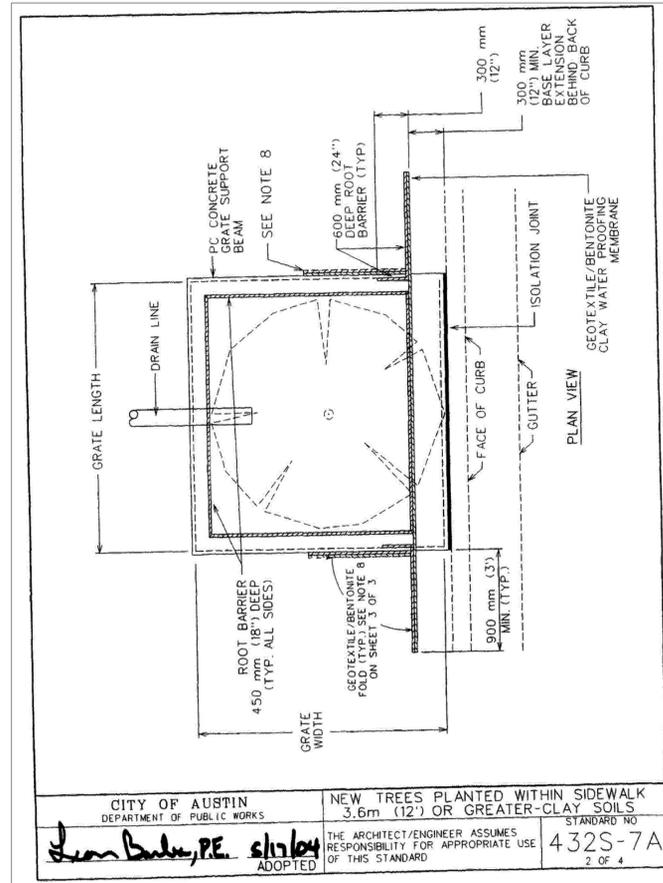
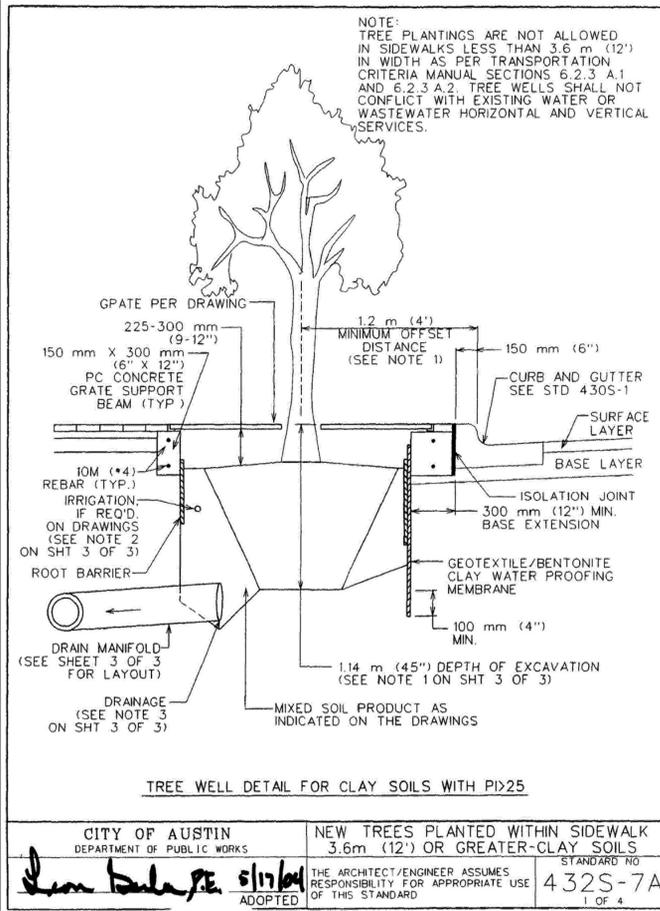
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PROJECT NUMBER
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SHEET NUMBER

L1.03

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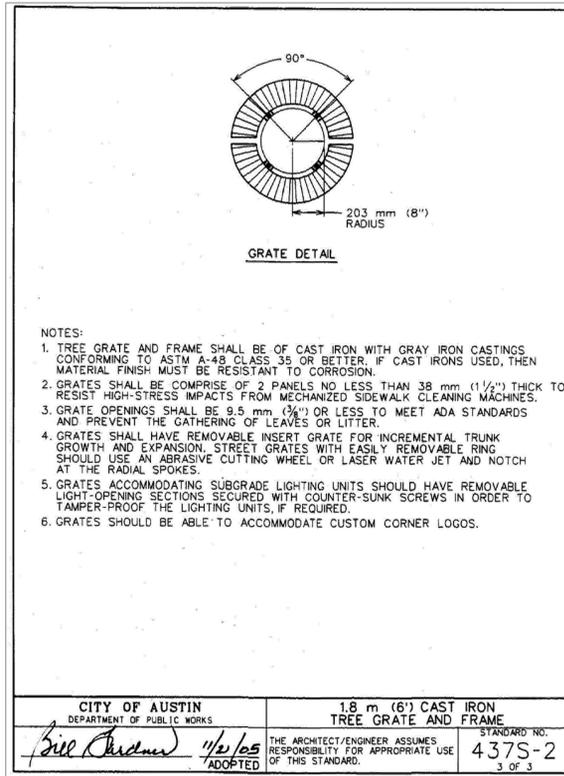
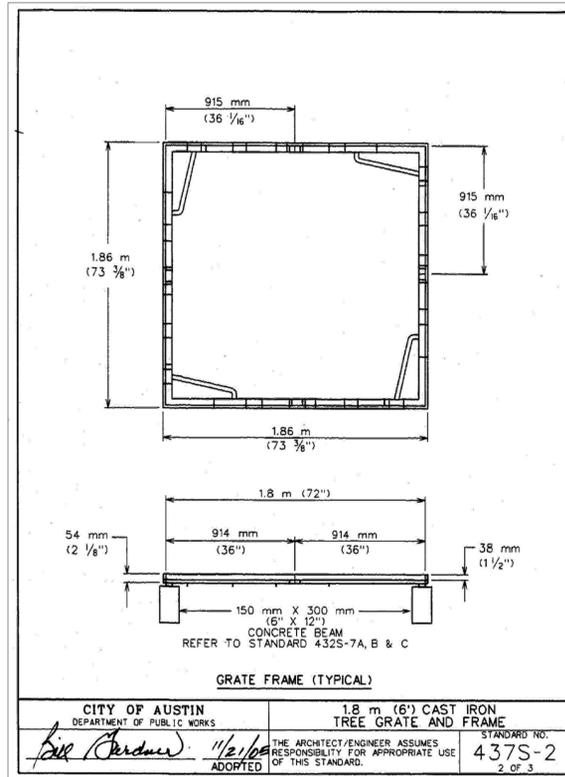
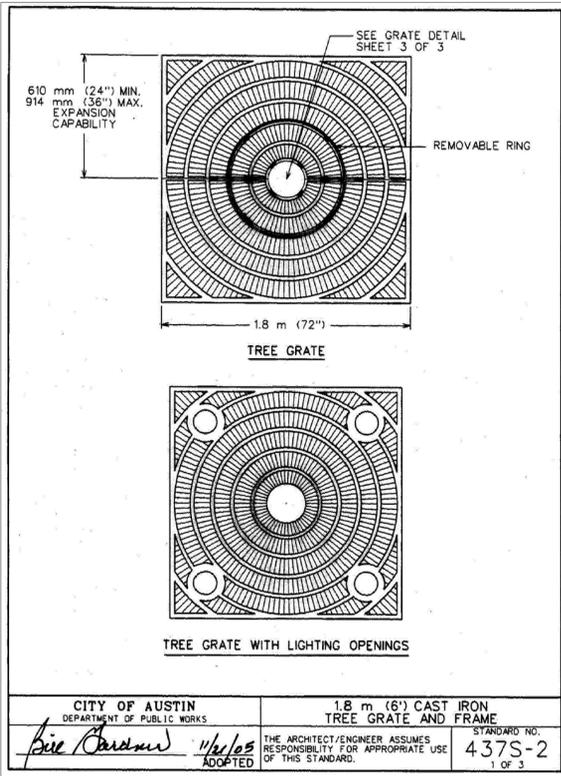
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LANDSCAPE DETAILS
242 N GUADALUPE ST,
CITY OF SAN MARCOS
HAYS COUNTY, TEXAS

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CREDIT UNION

PLOT DATE
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DRAWING SCALE
N/A
PROJECT NUMBER
CD19038
SHEET NUMBER
L1.04

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CITY OF AUSTIN
 DEPARTMENT OF PUBLIC WORKS
 1.8 m (6') CAST IRON TREE GRATE AND FRAME
 STANDARD NO. 437S-2
 1 OF 3
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

CITY OF AUSTIN
 DEPARTMENT OF PUBLIC WORKS
 1.8 m (6') CAST IRON TREE GRATE AND FRAME
 STANDARD NO. 437S-2
 2 OF 3
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

CITY OF AUSTIN
 DEPARTMENT OF PUBLIC WORKS
 1.8 m (6') CAST IRON TREE GRATE AND FRAME
 STANDARD NO. 437S-2
 3 OF 3
 THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.

Current Version: December 9, 2008
 City of San Marcos Adopted 05/15/2014

Previous Versions: 11/21/05

Item No. 437S
Paver Grate Frames/Tree Grates and Frames

437S.1 Description

This item shall govern paver grate frames, tree grates and frames purchased or constructed and installed as herein specified at locations shown on the drawings or as established by the Engineer or designated representative. The grate installation shall consist of either a paver frame/grate, tree frame with grate or a grate with lighting openings as shown in the Drawings. The grates/frames shall be constructed and installed as shown in City of Austin Standards 437S-1 and 437S-2.

This specification is applicable for projects or work involving either inch-pound or SI units. Within the text the inch-pound units are given preference followed by SI units shown within parentheses.

437S.2 Submittals

The submittal requirements of this specification item may include:

Test results for each of the materials described herein when specifically identified on the Drawings and/or referenced in associated standard specification items and standard details.

A foundry certification shall be furnished stating that cast-iron grate samples representing each lot have been tested, inspected, and are in accordance with this specification.

Certification prior to supplying castings that there is an acceptable quality control program at the cast-iron grate producing foundry.

Confirmation that the paver grate frames are capable of supporting 90 lbs per sq. ft. (4.31 kPa) of dead load and 110 lbs. per sq. ft. (5.27 kPa) of live load.

Confirmation that the paver grate frames have been constructed in accordance with this specification and associated Standard Details.

437S.3 Materials

A. Cast Iron

Unless otherwise indicated, the Tree Grate shall be gray iron castings, manufactured from iron conforming to ASTM A48, Class 35B, as noted in section 3.1 of AASHTO M306. The material must be resistant to corrosion.

Castings shall be of uniform quality, free from sand holes, gas holes, shrinkage, cracks and other surface defects. Castings shall be ground smooth and well cleaned by shot blasting. As-cast dimensions may vary within accepted foundry tolerances as outlined in the Iron Castings Handbook published by the American Foundry Society, Inc. Nominally, casting dimensional tolerances shall be +/- 1/16" per foot (0.5 cm per meter).

Current Version: December 9, 2008
 City of San Marcos Adopted 05/15/2014

Previous Versions: 11/21/05

B. Steel

Unless otherwise indicated, steel shall conform to ASTM A 36 as detailed in Item 720, "Metal for Structures".

C. Reinforcing Steel

Reinforcement shall conform to Specification Item No. 406S, "Reinforcing Steel" or Specification Item No. 407S, "Fibrous Concrete".

437S.4 Construction Methods

A. Paver Grate Frames

The paver grate frames shall be designed according to current American Institute of Steel Construction criteria and shall be capable of supporting 90 lbs per sq. ft. (4.31 kPa) of dead load and 110 lbs. per sq. ft. (5.27 kPa) of live load.

The paver grate frame shall be fabricated in conformance with Item 721, "Steel Structures" and Item 723, "Structural Welding" to the dimensions shown in Standard 437S-1. The completed frames shall be installed as shown in Standard 437S-1. The frames shall be securely bolted to the supporting concrete surround using 3/8-inch (9.5 mm) diameter expansion bolt anchors, or approved equivalent.

B. Tree Grates and Frames

The paver grate frame shall be fabricated in conformance with Item 721, "Steel Structures" and Item 723, "Structural Welding" to the dimensions shown in Standard 437S-2, sheet 2.

The cast-iron tree grates shall be fabricated to the dimensions shown in Standard 437S-2, sheets 1 and 3.

The completed tree grate/frame shall be installed as shown in Standard 437S-2.

437S.5 Measurement

Accepted work performed as prescribed by this item will be paid per each paver grate and/or tree grate. Each grate installation shall include a grate frame as detailed in Standards 437S-1, Sheet 1 and 437S-2, sheet 2.

437S.6 Payment

The work performed as prescribed by this item will be paid for "per each" for paver frame/grate, tree grate with frame or tree grate with lighting openings with frame.

The work performed for Tree Wells as prescribed by Item 432S will be paid for "per each" under Pay Item 432S-SAC-7A, 432S-SAC-7B, 432S-SAC-7C, 432S-SAC-7D, 432S-SAC-7E, and 432S-SAC-7F.

This price shall be full compensation for furnishings, fabricating, transporting, erecting and installing each tree grate and grate frame, complete in place, including all material, labor, tools, equipment, barricading and incidentals necessary to complete the work.

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 City of San Marcos Adopted 05/15/2014

Previous Versions: 11/21/05

Payment will be made under:

Pay Item No. 437S-A:	Paver frame and grate	Per Each.
Pay Item No. 437S-B:	Tree grate and frame	Per Each.
Pay Item No. 437S-C:	Tree grate, lighting option with frame	Per Each.

End

SPECIFIC CROSS REFERENCE MATERIALS
 Standard Specification Item Number 437S, "Paver Grate Frames/Tree Grates and Frames"

American Society for Testing and Materials, ASTM	Description
Designation	A 48
Description	Specification for Gray Iron Castings
American Association of State Highway and Transportation Officials (AASHTO)	Description
Designation	M306
Description	Drainage Structure Castings
City of Austin Standard Specifications	Description
Designation	Item No. 406S
Description	Reinforcing Steel
Designation	Item No. 407S
Description	Fibrous Concrete
Designation	Item No. 721
Description	Steel Structures
Designation	Item No. 723
Description	Structural Welding
City of Austin Standard Details	Description
Designation	Item No. 437S-1
Description	1.8 m (6') Paver Grate Frame
Designation	Item No. 437S-2
Description	1.8 m (6') Cast Iron Tree Grate and Frame

RELATED CROSS REFERENCE MATERIALS
 Standard Specification Item Number 437S, "Paver Grate Frames/Tree Grates and Frames"

City of Austin Standard Specifications	Description
Designation	Item No. 403S
Description	Concrete for Structures
Designation	Item No. 480S
Description	Concrete Paving Units
City of Austin Standard Details	Description
Designation	No. 432S-7A
Description	New Trees Planted Within Sidewalk 3.6m (12') or Greater-Clay Soils
Designation	No. 432S-7B
Description	New Trees Planted Within Sidewalk 3.6m (12') or Greater-Granular Soils
Designation	No. 432S-7C
Description	Tree Well for New Trees Planted Within Concrete Sidewalk 3.6m (12') or Greater
Designation	No. 432S-7D
Description	Above Grade Tree Planter

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05/27/20

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