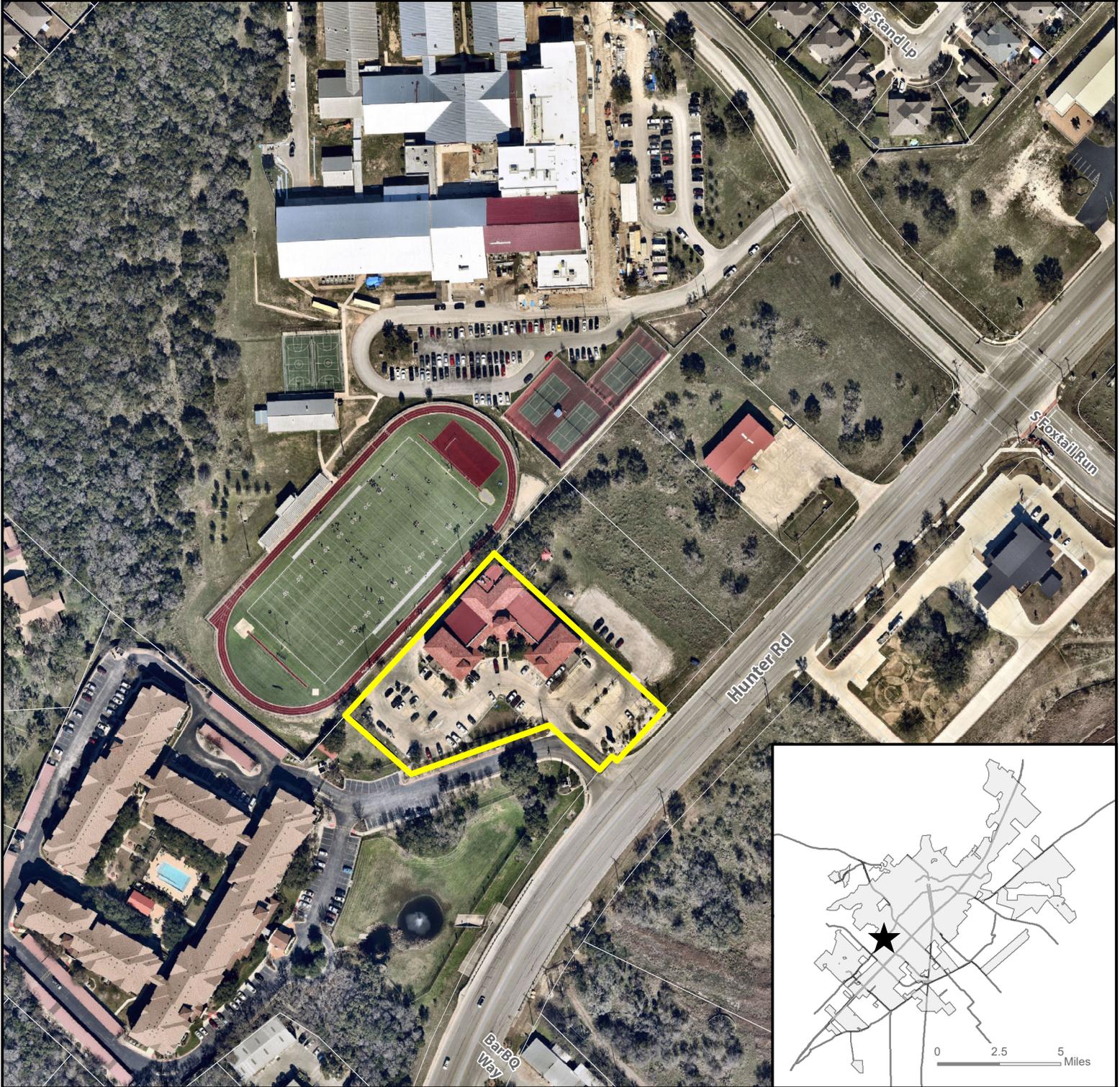


CUP-21-14 and VR-21-01

Aerial View

El Jefe Mexican Restaurant — 2550 Hunter Rd, Suite 1106



Site Location



Subject Property



Parcel



City Limit



0 125 250 500 Feet

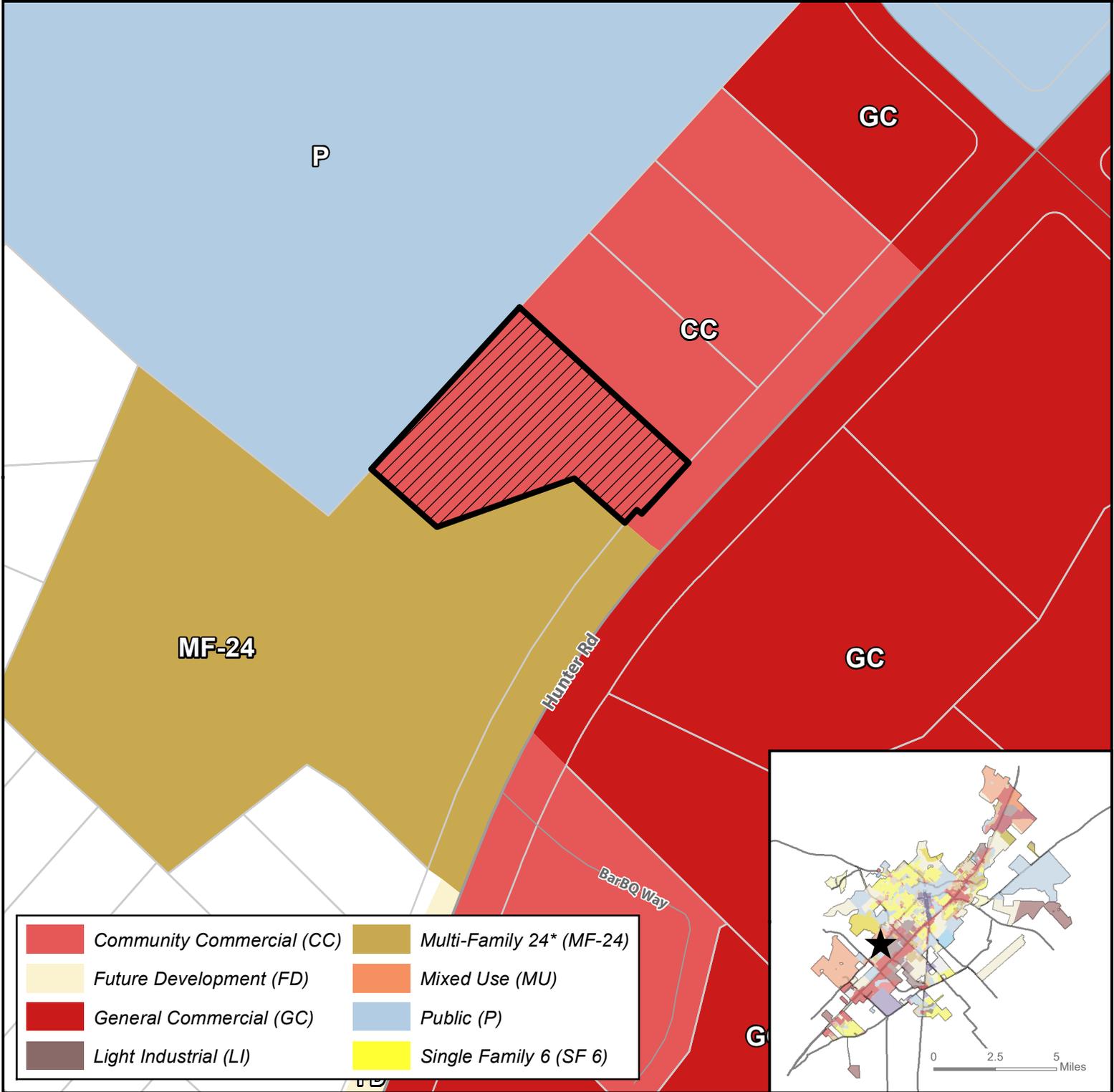
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. Imagery from 2017.

Map Date: 4/19/2021

CUP-21-14 and VR-21-01

Existing Zoning

El Jefe Mexican Restaurant — 2550 Hunter Rd, Suite 1106



	Community Commercial (CC)		Multi-Family 24* (MF-24)
	Future Development (FD)		Mixed Use (MU)
	General Commercial (GC)		Public (P)
	Light Industrial (LI)		Single Family 6 (SF 6)

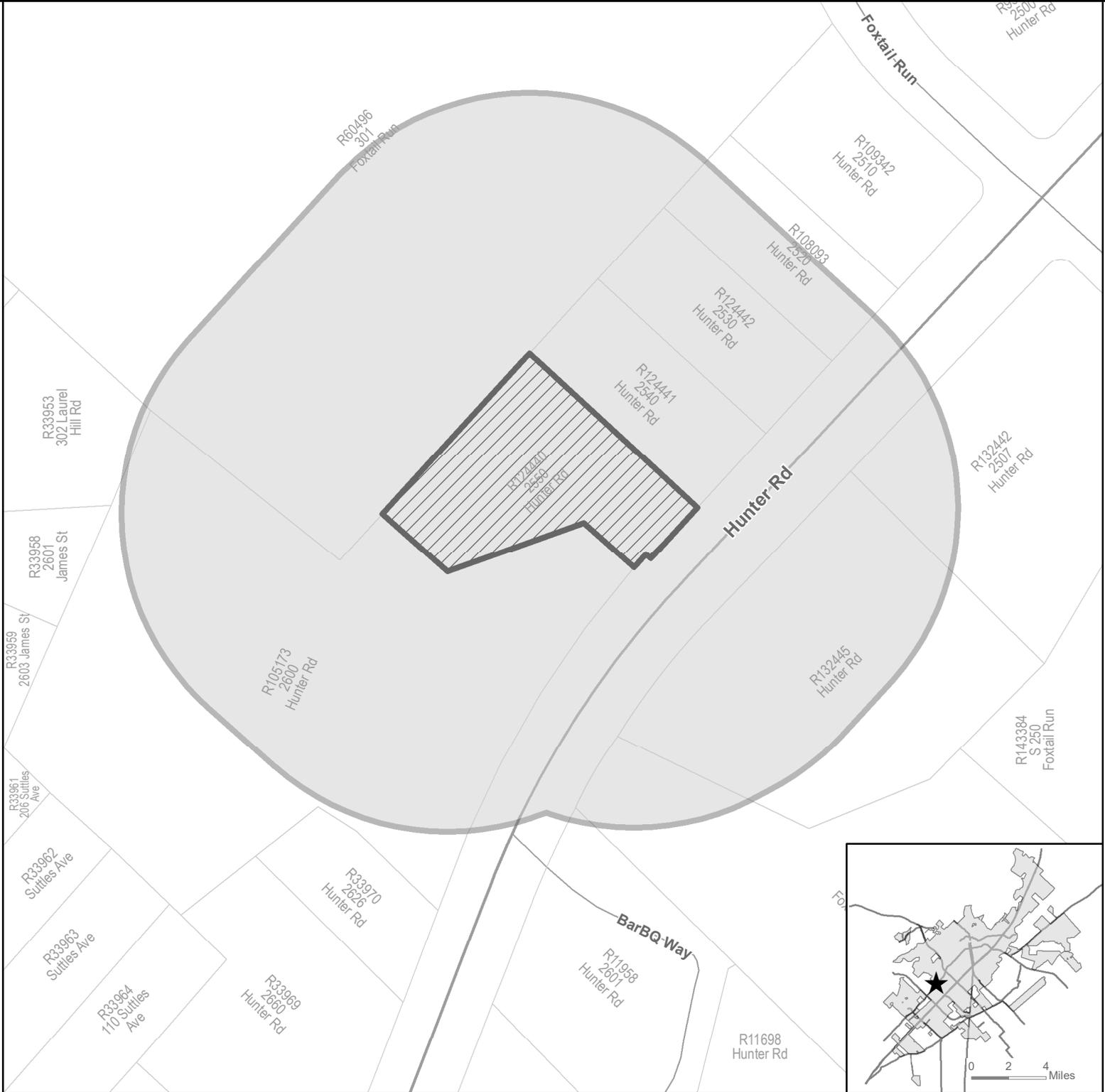
-  Site Location
-  Subject Property
-  Parcels
-  City Limit



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Map Date: 4/19/2021

VR-21-01 400' Notification Buffer El Jefe Distance Variance — 2550 Hunter Rd



- ★ Site Location
-  Subject Property
-  400' Buffer
-  Parcel
-  City Limit



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Map Date: 4/20/2021

PLANNING AND DEVELOPMENT SERVICES



04/06/21

VR-21-01

**Notice of Public Hearing
Alcohol Distance Variance
El Jefe Mexican Restaurant
2550 Hunter Road, Suite 1106**

VR-21-01 (El Jefe Distance Variance) Hold a public hearing and consider a request by Edwin M Mendez, on behalf of El Jefe Mexican Restaurant, for a variance to Section 5.1.5.5 of the San Marcos Development Code, regarding the Sale and On Premise Consumption of Alcohol within 300 ft. of a public or private school, located at 2550 Hunter Road, Suite 1106. (J.Cleary)

The San Marcos Planning and Zoning Commission will consider the above request at an upcoming public hearing to obtain citizen comments and will either approve, approve with conditions, or deny the request. Before making a final decision, the Commission will hold a public hearing to obtain citizen comments. Because you are listed as the owner of property located within 400 feet of the subject property, we would like to notify you of the following public hearing and seek your opinion of the request:

- A public hearing will be conducted by the Planning and Zoning Commission via virtual meeting on **Tuesday, May 11, 2021 at 6:00 p.m.** You may watch the public hearing on Grande channel 16 or Spectrum channel 10 or by using the following link: <http://sanmarcostx.gov/541/PZ-Video-Archives>. Or email planninginfo@sanmarcostx.gov or call 512-393-8230 to request a link or phone number to participate in the public hearing by computer, mobile device, or phone.

Due to the State Disaster Declaration enacted by the Governor, Public Hearings will be held in a virtual meeting. All interested citizens are invited to watch or participate in the public hearing by the means described above. If you cannot participate in the virtual public hearing of the Planning and Zoning Commission but wish to comment, you may write to the below address. Your written comments will be given to the Planning & Zoning Commission if they are received before 12 PM on the day of the meeting.

Planning and Development Services
630 East Hopkins
San Marcos, TX 78666
planninginfo@sanmarcostx.gov

For more information regarding this request, contact the case manager, **Julia Cleary**, at **512.393.2658**. When calling, please refer to case number **VR-21-01**. As of the date of this notice, there are no other means of participating in the public hearing. However, please check for updates on the City's website at: www.sanmarcostx.gov to see if other means of participating in the public hearing become available.

The City of San Marcos does not discriminate on the basis of disability in the admission or access to its services, programs, or activities. Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos ADA Coordinator at 512-393-8000 (voice) or call Texas Relay Service (TRS) by dialing 7-1-1. Requests can also be faxed to 512-393-8074 or sent by e-mail to ADArequest@sanmarcostx.gov

PLANNING AND DEVELOPMENT SERVICES
Enclosure: Map (See Reverse)

Property ID	Site Address	Owner	Owner Address	Owner City	Owner State	Owner Zip
11958	2601 HUNTER RD, SAN MARCOS, TX 78666	BBQ WAY LLC	2601 HUNTER RD	SAN MARCOS	TX	78666-5112
124441	2540 HUNTER RD, SAN MARCOS, TX 78666	CHIU DAVID S & SHARON A	311 LAUREL HL	SAN MARCOS	TX	78666-5040
124440	2550 HUNTER RD, SAN MARCOS, TX 78666	CHIU DAVID S & SHARON A	311 LAUREL HL	SAN MARCOS	TX	78666-5040
124442	HUNTER RD, SAN MARCOS, TX 78666	CHIU DAVID S & SHARON A	311 LAUREL HL	SAN MARCOS	TX	78666-5040
33953	302 LAUREL HILL, SAN MARCOS, TX 78666	DAVIS, LESLIE M	302 LAUREL HILL	SAN MARCOS	TX	78666
132442	HUNTER RD, SAN MARCOS, TX 78666	FIRST LOCKHART NATIONAL BANK	111 SOUTH MAIN ST	LOCKHART	TX	78644
105173	2600 HUNTER RD, SAN MARCOS, TX 78666	HOUSING AUTHORITY OF THE CITY OF SAN MARCOS	1201 THORPE LN	SAN MARCOS	TX	78666
132445		MADASA PROPERTIES LLC	9623 WOODY RIDGEVIEW	AUSTIN	TX	78730
60496	301 FOXTAIL RUN, SAN MARCOS, TX 78666	SAN MARCOS CISD	P O BOX 1087	SAN MARCOS	TX	78667-1087
108093	2520 HUNTER RD, SAN MARCOS, TX 78666	SOLIS, HENRY, JR	2520 HUNTER RD	SAN MARCOS	TX	78666
143385		SVEA INDUSTRIAL III LLC	110 E HOUSTON ST	SAN ANTONIO	TX	78205
36383	HUNTER RD, SAN MARCOS, TX 78666	TEXAS STATE OF	P O DRAWER 15426	AUSTIN	TX	78761-5426
		CANTU, JOE	725 WILLOW RIDGE DR	SAN MARCOS	TX	78666

VR-21-01 Door to Door Measurement El Jefe Mexican Restaurant — 2550 Hunter Rd, Suite 1106



- ★ Site Location
- ▭ Subject Property
- ▭ Parcel
- ▭ City Limit



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Map Date: 4/26/2021