



December 16, 2022

Shannon Mattingly
Planning Director
Planning and Development Services
630 East Hopkins
San Marcos, TX 78666

***Re: Conditional Use Permit Summary Letter
McCoy Retreat Center
San Marcos, Texas***

Dear Mrs. Mattingly:

Please accept this summary letter to support a Conditional Use Permit (CUP) application for the proposed McCoy Corporation Retreat Center located at 1200 Davis Lane in San Marcos, Texas. The proposed Retreat Center is anticipated to include a +/- 11,300 square foot training/special event center, associated parking, and ancillary improvements to support the development. The project is bordered to the north by the McCoy Corporation office building, the east by Davis Lane, the west by a manufactured home development and undeveloped land, and the south by the M. K. & T. Railroad right-of-way. The subject property consists of an approximate 18.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an unplatted 2.81-acre lot, and a portion of Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North. The three tracts are intended to be platted into one lot under a separate subdivision application.

The property is currently zoned Future Development (FD) which allows for the proposed Special Event Center use with a Conditional Use Permit. Based upon conversations with City Staff at a pre-development meeting on June 7, 2022 and subsequent communications, it was determined that the proposed development best fits the Special Event Facility use type which is defined in 5.1.5.9 of the Zoning Ordinance as:

A facility or hall available for special events with indoor and outdoor space that accommodates private functions such as weddings, quinceanera, and similar celebrations.

Upon completion the proposed Retreat Center is intended to be used for corporate training events by McCoy Corporation, company celebrations, and other similar private gatherings. The Retreat will provide not only a facility to house these events but will also incorporate outdoor natural areas such as trails, a fishing pond, and meadows that will allow visitors to enjoy the natural beauty of the property while continuing their career development. The proposed development will be a less intense use than surrounding developments and intends to include landscaping practices that preserve existing trees and promotes native



Mrs. Shannon Mattingly, December 16, 2022, page 2

plants and species while selectively removing invasives. Please refer to the attached conceptual site plan and architectural plans for more information regarding the layout of the project. At this time no large entertainment facilities are intended to be included as part of this development.

In summary, we respectfully request that the City approve a Conditional Use Permit for the Special Event Center use within a Future Development zoning classification for the subject project. Upon approval, our team will work closely with City Staff to comply with applicable codes and regulations for the design of the project. If you should have any questions regarding this application or need additional information regarding the McCoy Retreat Center development, please feel free to contact us at 512-556-8160.

Sincerely,

ECKERMANN ENGINEERING, INC.

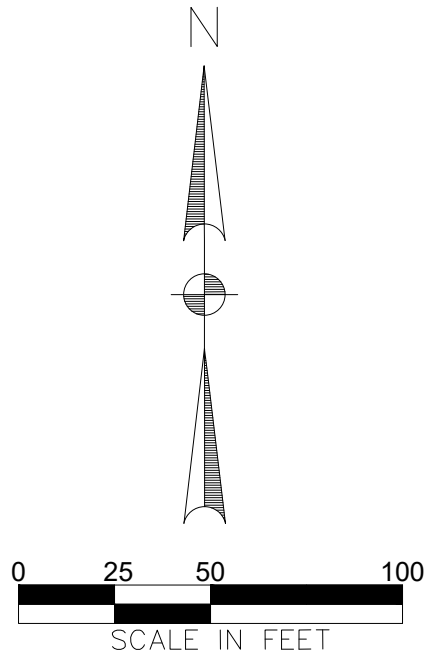
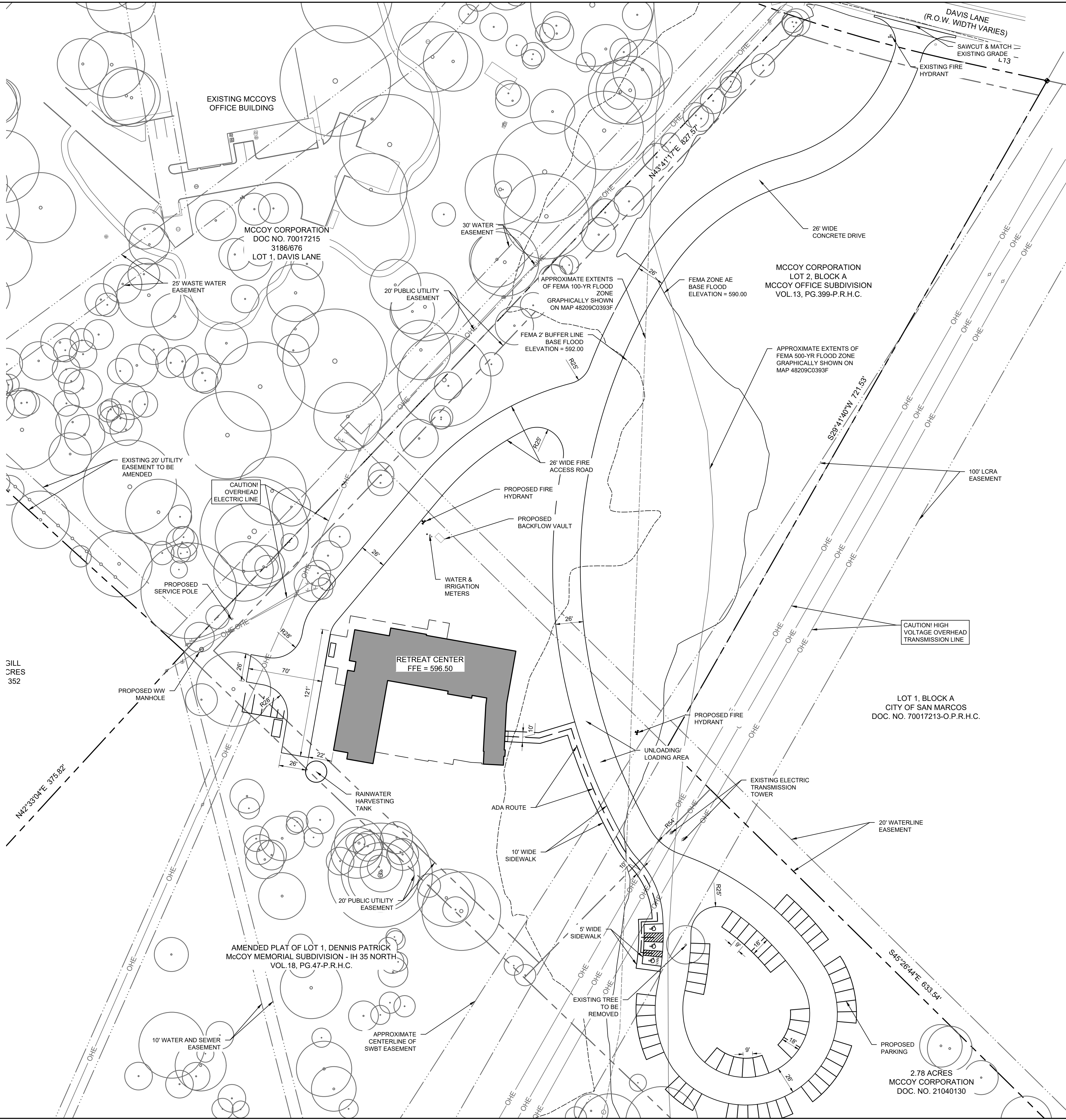
A handwritten signature in blue ink that reads 'Sam Walker'.

Sam N. Walker, P.E.
Vice President

Attachments: Conditional Use Application
Applicable Site and Floor Plans
Owner's Authorizations
Application Fee

12/16/2022

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LEGEND:

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- ADA ROUTE
- BENCHMARK
- FIRE HYDRANT

NOTES:

- SURVEY INFORMATION PROVIDED BY CUPLIN AND ASSOCIATES, INC. RECEIVED ELECTRONICALLY SEPTEMBER 2022. NO WARRANTY IS EXPRESSED AS TO ITS ACCURACY.
- FOR CONCEPT PLANNING PURPOSES ONLY. NOT FOR PERMITTING OR CONSTRUCTION.

SITE INFORMATION:

ZONING	FD (FUTURE DEVELOPMENT)
RETREAT CENTER SQUARE FOOTAGE (SF)	11,365 SF
PASSENGER CAR PARKING REQUIRED (1/200SF GROSS FLOOR AREA)	57 SPACES
STANDARD PARKING PROVIDED (10'X20')	55 SPACES
HANDICAP PARKING PROVIDED	3 SPACES
TOTAL PARKING PROVIDED	57 SPACES

No.	Date	Revisions	App.

E**CKERMANN****ENGINEERING, INC.**

202 SPRING HO AVENUE
LAWPARK, TEXAS 76550
PHONE: 512-558-8160
TBPE FIRM NO. F-10496

MCCOY'S
BUILDING SUPPLY

MCCOY'S RETREAT CENTER
1200 DAVIS LANE
SAN MARCOS, TEXAS 78666

SITE PLAN IMPROVEMENTS

CONCEPTUAL
SITE PLAN

PRELIMINARY
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

SAM N. WALKER, P.E. 101708
NAME P.E. NO.
12/16/2022
DATE

Project No.: 22012
Issued: 12/16/2022
Drawn By: QS, TM
Checked By: SW

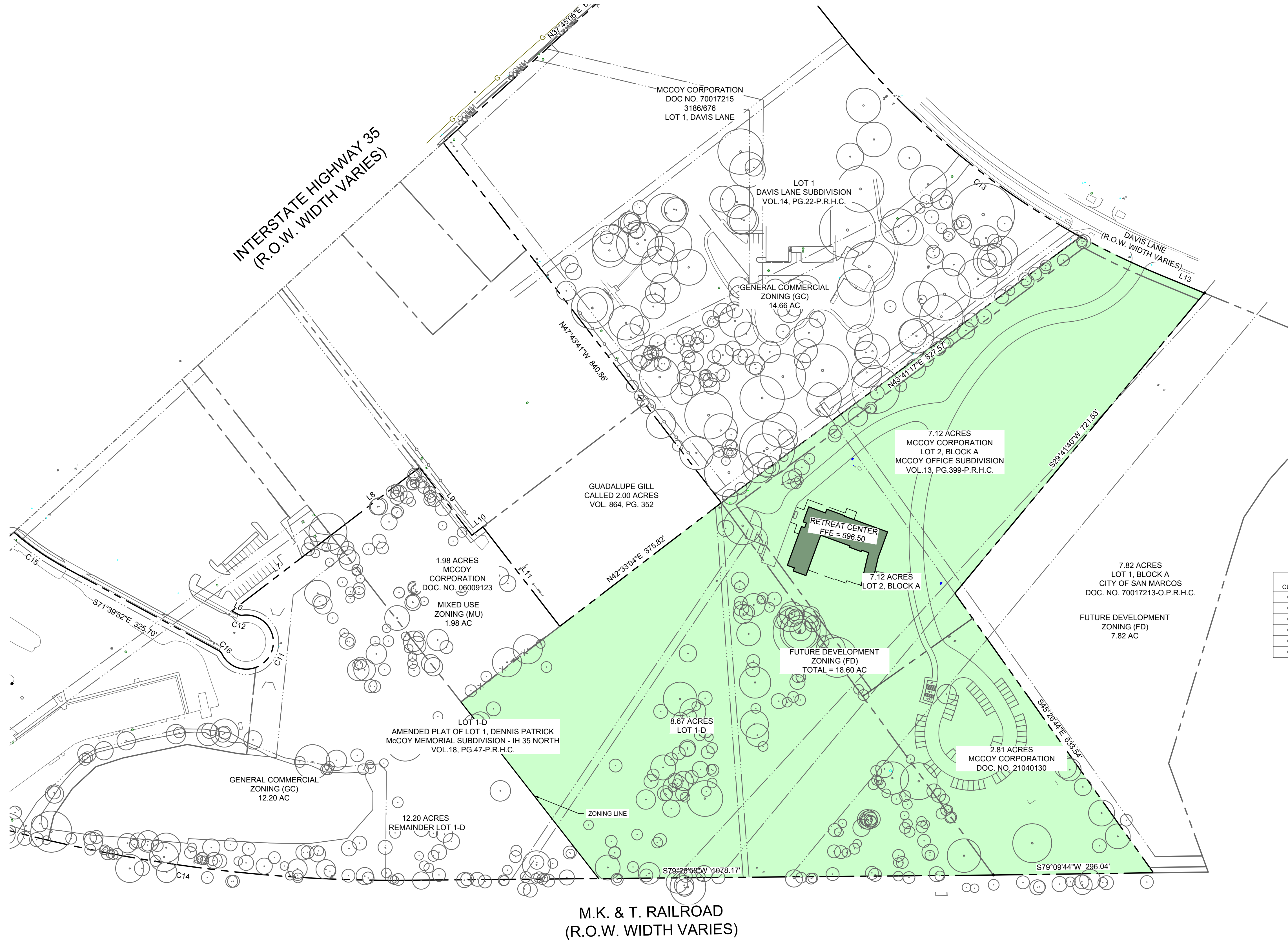
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Sheet 1 OF 2



12/16/2022

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LEGEND:

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- SETBACK LINE
- BENCHMARK

PROPOSED FUTURE DEVELOPMENT ZONING WITH
CONDITIONAL USE PERMIT

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CURVE TABLE				
CURVE	RADIUS	ARC LEN	CHD LEN	CHD BRG
C11	50.00'	219.89'	80.92'	N18°15'16"E
C12	13.00'	8.01'	7.88'	N89°43'41"W
C13	1467.39'	745.20'	737.22'	S63°12'22"E
C14	2805.27'	836.21'	833.12'	S87°54'47"W
C15	518.26'	112.73'	112.51'	S65°13'37"E
C16	13.00'	8.17'	8.04'	S53°39'04"E

LINE TABLE		
LINE	BEARING	DISTANCE
L6	N71°38'53"W	13.94'
L7	N42°35'59"E	230.36'
L8	N42°31'43"E	206.28'
L9	S47°42'33"E	158.44'
L10	N42°35'50"E	25.55'
L11	S47°46'36"E	232.32'
L12	S89°37'48"E	25.24'
L13	S77°40'53"E	86.25'
L14	N83°58'49"W	104.80'
L15	N83°29'09"W	86.78'
L16	N37°44'05"E	126.13'

Revisions		App.	
No.	Date	No.	Date

E

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ENGINEERING, INC.

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PHONE: 512-558-8160
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SITE PLAN IMPROVEMENTS

CONDITIONAL
USE PERMIT
MAP

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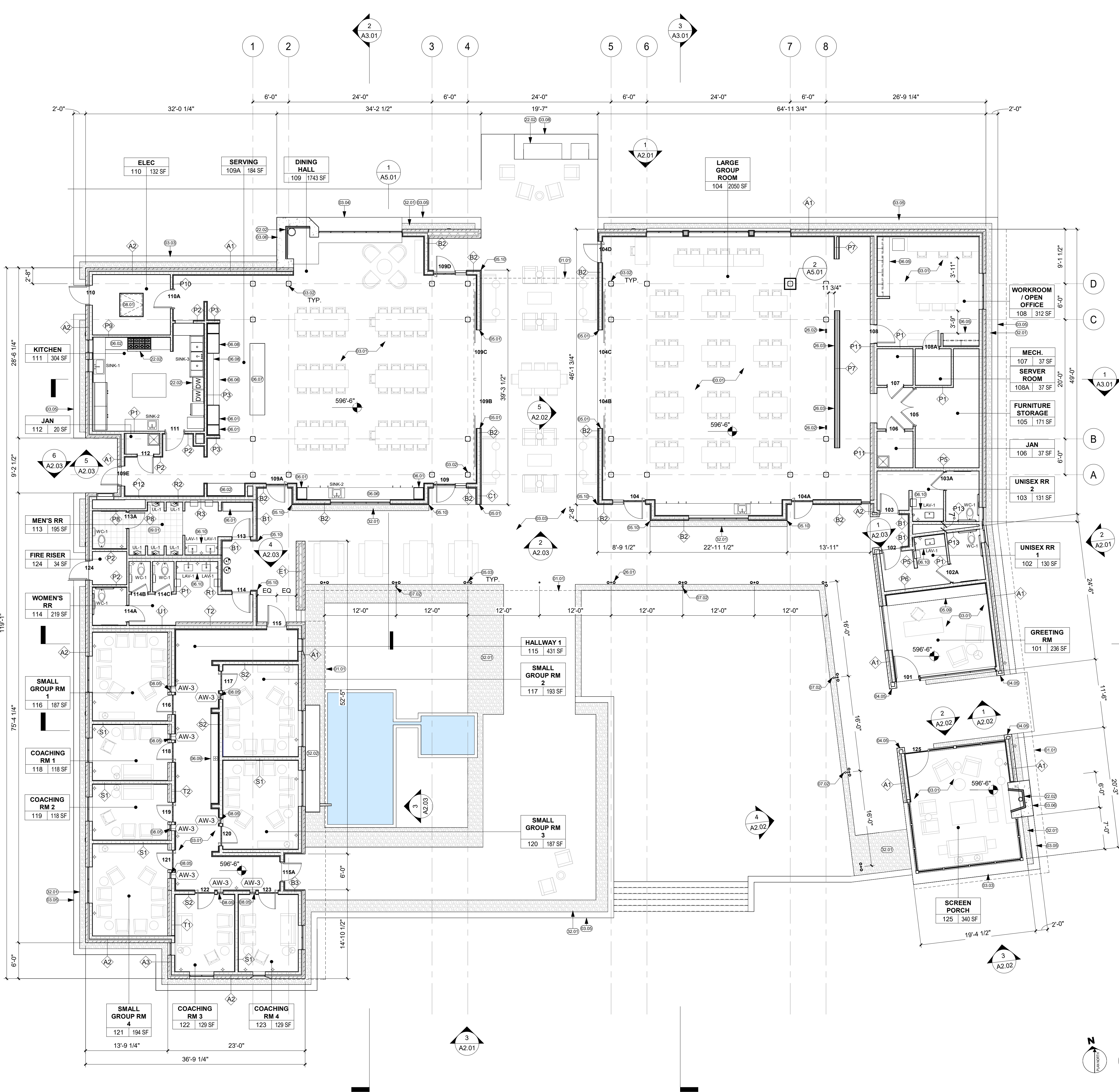
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Drawn By: QS, TM
Checked By: SW

C.02
Sheet 1 OF 2



GENERAL NOTES - FIRE ALARM	
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2	ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.
3	ALL WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES AND SHALL BE ALIGNED VERTICALLY.
4	PROVIDE AN EMPTY BOX AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL FIRE ALARM DEVICES UNLESS NOTED OTHERWISE. ALL FIRE ALARM DEVICES LOCATION ON WALLS TO DECK AND/OR SOUND INSULATED WALLS SHALL BE PROVIDED WITH ¾-INCH EMT CONDUIT AND PULL STRING INTO ACCESSIBLE SPACE.
5	FIRE ALARM CONTRACTOR SHALL PROVIDE ALL PARTS, COMPONENTS, HARDWARE, WIRING, LABOR, ETC., NECESSARY FOR A COMPLETE AND FUNCTIONAL FIRE ALARM AND NOTIFICATION SYSTEM, IN COMPLIANCE WITH NFPA 72 AND ALL LOCALLY APPLICABLE CODES AND STANDARDS. FIRE ALARM REQUIREMENTS SHALL BE PROVIDED BY FIRE ALARM CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE ALARM INSTALLATION DRAWINGS TO THE JURISDICTION HAVING AUTHORITY FOR APPROVAL AND TO THE ARCHITECT AND ALL TRADES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH OTHER TRADES AND SHALL PROVIDE AND INSTALL ALL FIRE ALARM DEVICES AND EQUIPMENT AS REQUIRED. IN ADDITION THE FIRE SPRINKLER/STANDPIPE/FIRE ALARM WORK MUST IN ACCORDANCE WITH COMMENTS BELOW: a. A CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL MUST DO THE WORK. b. THE LICENSED CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL AFTER THE BUILDING PERMIT IS APPROVED. THESE SHOP DRAWINGS MUST BE APPROVED BY THE FIRE DEPARTMENT AND REVIEWED BY THE ARCHITECT PRIOR TO THE CONTRACTOR BEGINNING WORK. c. ALL WORK SHALL COMPLY WITH THE CURRENT AND APPLICABLE EDITION OF NFPA 72 STANDARD AND INTERNATIONAL FIRE CODE (IFC).

GENERAL NOTES - FIRE PROTECTION & FIRE SUPPRESSION SYSTEM	
1	DELEGATED DESIGN: A LICENSED FIRE SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL ALL NEW SPRINKLER COMPONENTS REQUIRED FOR A COMPLETE FIRE PROTECTION SYSTEM FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
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3	ALL ASPECTS OF THE FIRE PROTECTION SYSTEMS, INCLUDING EQUIPMENT AND INSTALLATION SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. SHOP DRAWINGS OF THE ENTIRE FIRE PROTECTION SYSTEM, DRAWN IN CONFORMANCE WITH CERTIFIED SPRINKLER DESIGNER REQUIREMENTS, SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO ANY INSTALLATION WORK BEING PERFORMED. THE FORMAT OF THE SHOP DRAWINGS AND ANY REQUIRED CALCULATIONS PRESENTED SHALL CONFORM TO ALL REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT THE PROPER WATER SUPPLY, AS REQUIRED BY NFPA 13, IS AVAILABLE TO THE PIPE SIZING METHOD USED FOR DESIGN. WHERE APPLICABLE, SPRINKLER HEADS SHALL BE INSTALLED CENTER-OF-TILE IN ACOUSTICAL PANEL CEILING SYSTEMS. WHERE STRUCTURE IS EXPOSED SPRINKLER HEADS SHALL BE ALIGNED WITH STRUCTURAL CENTER-OF-BAYS OR STRUCTURAL GRID LINES. ANY SPRINKLER PIPING EXPOSED TO VIEW SHALL BE PAINTED. SPRINKLER HEADS IN GYPSUM BOARD, PLASTER OR STUCCO CEILINGS SHALL BE CONCEALED TYPE HEADS. CONTRACTOR SHALL INCLUDE IN BID COST ALLOWANCES FOR ANY ADDITIONAL PIPE, SPRINKLER HEADS, ETC., REQUIRED TO ACCOMPLISH THESE SPACING AND FINISH REQUIREMENTS. CLOSELY COORDINATE HEAD LOCATIONS WITH OTHER MEP DEVICES INCLUDING AIR DEVICES, LIGHT FIXTURES, CEILING FANS, ETC.
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GENERAL NOTES	
1	SEE SHEET G0.40 FOR WALL & PARTITION TYPES
2	SEE SHEET A6.00 FOR WINDOW TYPES & SCHEDULES
3	SEE SHEET A6.50 FOR DOOR TYPES & SCHEDULES
4	SEE SHEET G0.50 FOR FINISH, EQUIPMENT, AND ACCESSORIES SCHEDULE
5	ALL DIMENSIONS ARE TO STRUCTURAL GRID OR FACE OF GWB/SHEATHING UNLESS NOTED OTHERWISE
6	ALL WINDOW LOCATION DIMENSIONS ARE REFERENCED TO THE OUTSIDE OF WINDOW UNIT. SEE SHEET A6.00 FOR ROUGH OPENING DIMENSIONS.
7	ALL EXTERIOR ELECTRICAL OUTLETS & HOSE BIBS ARE LOCATED 1'-3" A.F.F. TO CENTERLINE.
8	FIRE ALARM AND FIRE SUPPRESSION SYSTEM TO BE INSTALLED THROUGHOUT ENTIRE BUILDING.

KEYNOTES	
03.01	CONCRETE FLOOR WITH DIAMOND POLISH
03.02	CONCRETE CHAMFERED COLUMN, REF: STRUCTURAL
03.03	CONCRETE FLOOR WITH LIGHT SAND BLAST FINISH
03.04	ARCHITECTURAL C.I.P. CONCRETE HEARTH
03.05	ARCHITECTURAL C.I.P. CONCRETE SITE WALL, REF: STRUCTURAL
03.06	ARCHITECTURAL C.I.P. FIRE PLACE, REF: STRUCTURAL
03.08	CUSTOM CAST IN PLACE CONCRETE FIRE PIT
04.05	STONE WALL RETURN
05.01	14" PLATE STEEL WALL CAP: COUNTER SUNK SCREWS AT 24" O.C. FINISH TBD
05.03	STEEL COLUMN, REF: STRUCTURAL
05.09	CUSTOM STEEL BOOKCASE
05.10	BENT PLATE STEEL TRIM AT STONE WALL
06.01	CUSTOM CASEWORK; FINISH: TBD
06.02	CUSTOM CASEWORK WITH COUNTERTOP; FINISH: TBD
06.05	CUSTOM PAINT GRADE CABINETY WITH P-LAM COUNTERTOP
06.06	CUSTOM PAINTED CABINETY WITH DARK STONE COUNTERS
06.07	CUSTOM WOOD VENEER SERVING ISLAND WITH LIGHT STONE COUNTER; FINISH: TRANSPARENT
06.08	CUSTOM CASEWORK; FINISH: TRANSPARENT
06.09	4" THICK WOOD SLAB COUNTERTOP
06.10	WOOD SLAB COUNTERTOP WITH STONE FINISH; COLOR TBD
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
08.01	CRAWL SPACE ACCESS
08.05	ALUMINUM WINDOW SYSTEM
09.01	TILE FLOORING
22.02	GAS FIRED APPLIANCES
26.01	LIGHT FIXTURE, REF: RCP AND ELECTRICAL
26.02	FLOOR BOX, REF: ELECTRICAL
26.03	LARGE-FORMAT TV OR ELECTRIC PROJECTION SCREEN, RECESSED IN WALL
32.01	GRAVEL
32.02	CUSTOM WATER FOUNTAIN

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ANDERSSON / WISE
807 BRAZOS STREET, SUITE 800
AUSTIN, TX 78701
T 512.476.5780

MCCOY'S RETREAT
PROJECT NO. 2106

1200 DAVIS LN.
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22
Δ REVISIONS

DESIGN PHASE SUBMITTAL

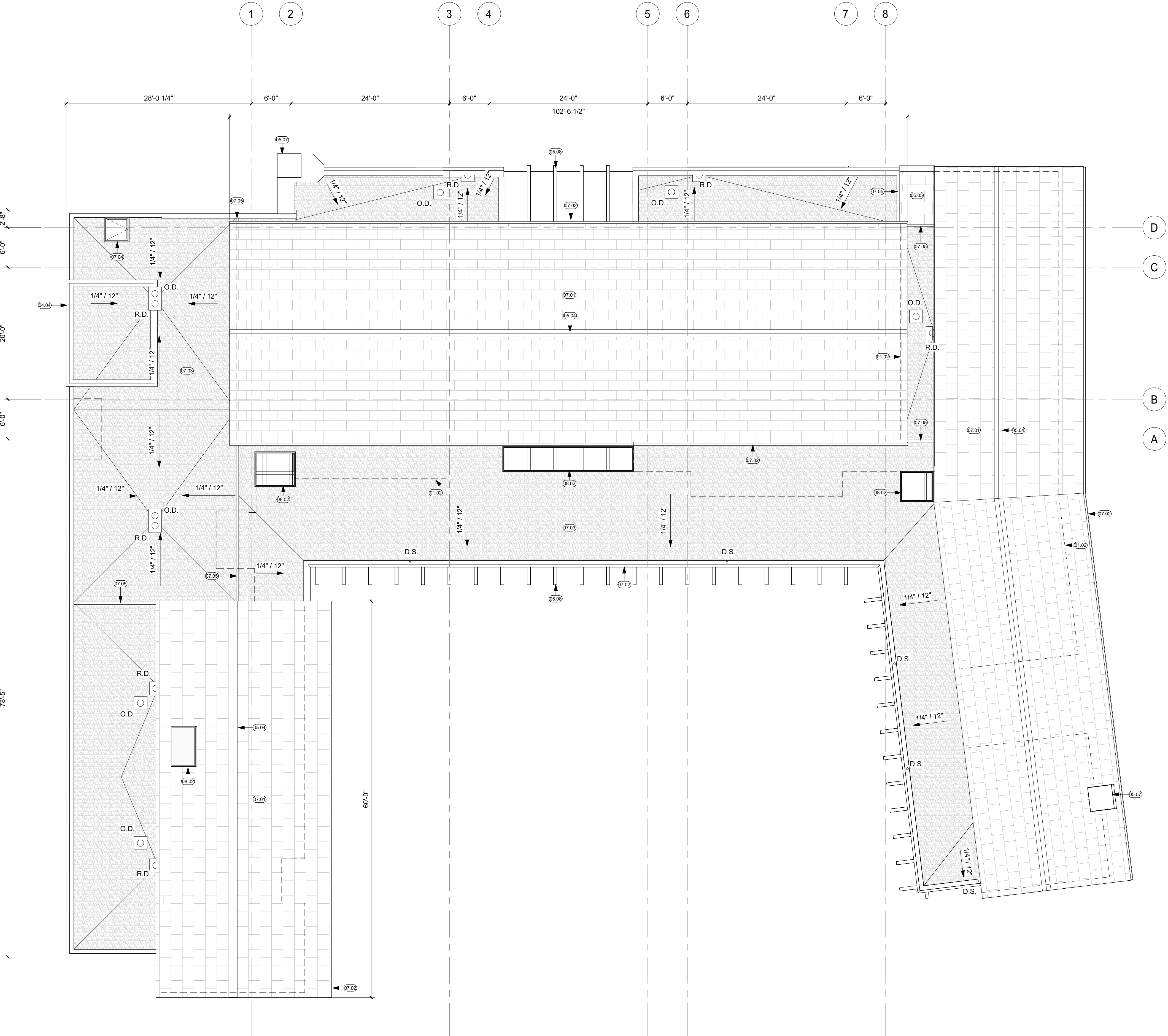
ARCHITECT:
ARTHUR W. ANDERSSON
FREDERICK C. WISE

TX REGISTRATION # 13257
TX REGISTRATION # 18699

CAMPUS FLOOR PLAN

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KEYNOTES	
01.02	LINE OF BUILDING BELOW
04.04	STONE MECHANICAL SCREEN WALL
05.04	METAL RIDGE CAP
05.05	CUSTOM COPPER SCUPPER
05.07	METAL CHIMNEY CAP & SPARK ARRESTOR
05.08	STEEL CANOPY SYSTEM; REF: STRUCTURAL
07.01	METAL ROOFING
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
07.03	RIVER ROCK BALLAST ON MEMBRANE ROOF
07.04	ROOF HATCH
07.05	ROOF CURB
08.02	SKYLIGHT

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MCCOY'S RETREAT

PROJECT NO. 2106

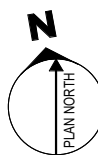
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ISSUE DATE : 07/29/22
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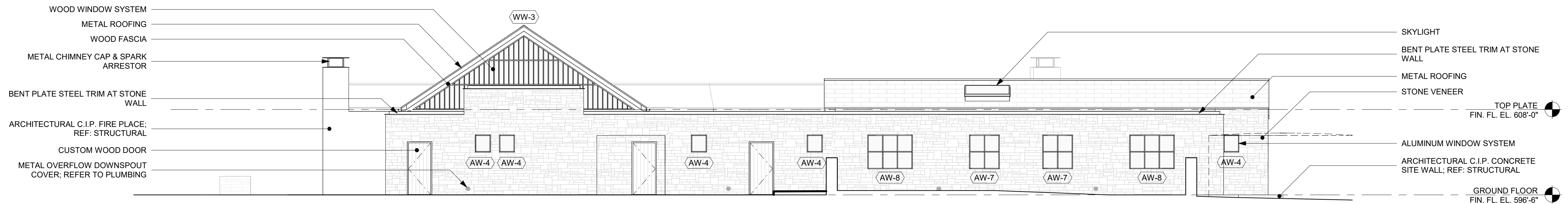
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ROOF PLAN

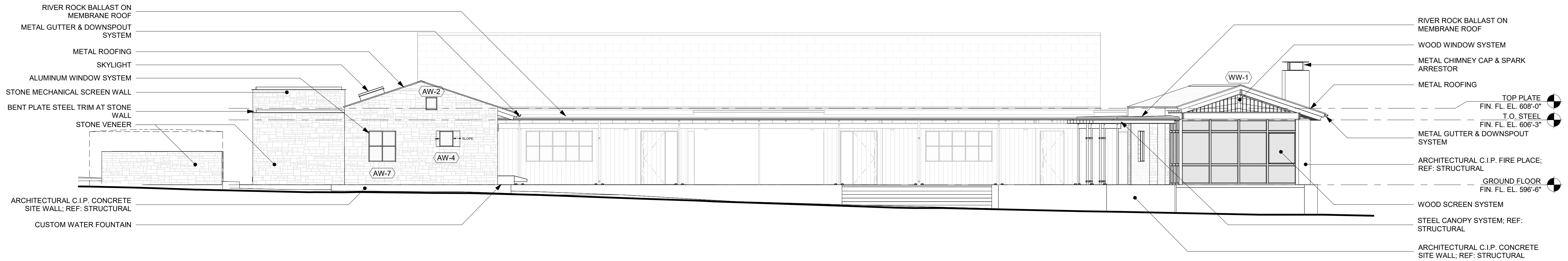


1 ROOF PLAN
Scale: 1/8" = 1'-0"

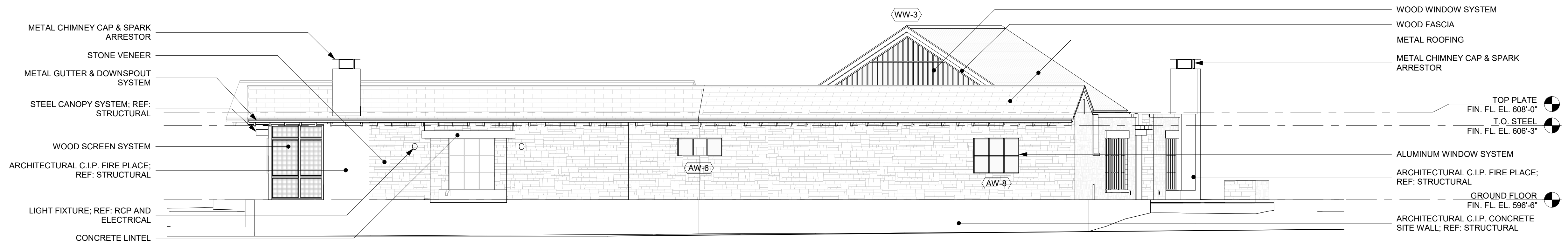
A1.02



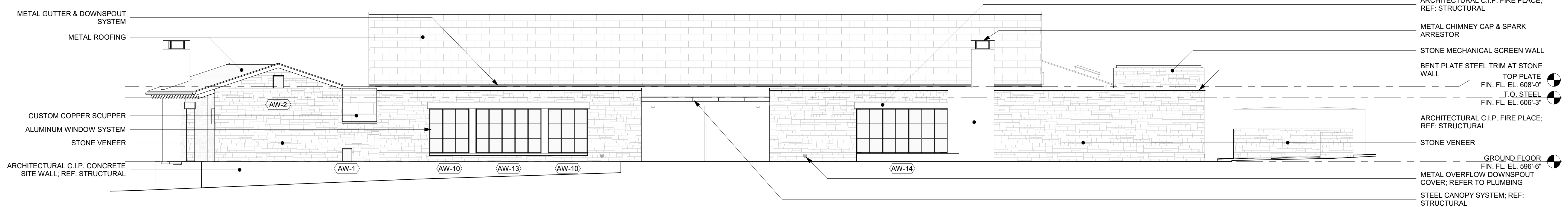
4 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 EAST ELEVATION - ENTRANCE
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"

NOT FOR
REGULATORY
APPROVAL,
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AUSTIN, TX 78701
T 512.476.5780

MCCOY'S RETREAT

PROJECT NO. 2106

1200 DAVIS LN.
SAN MARCOS, TX 78666

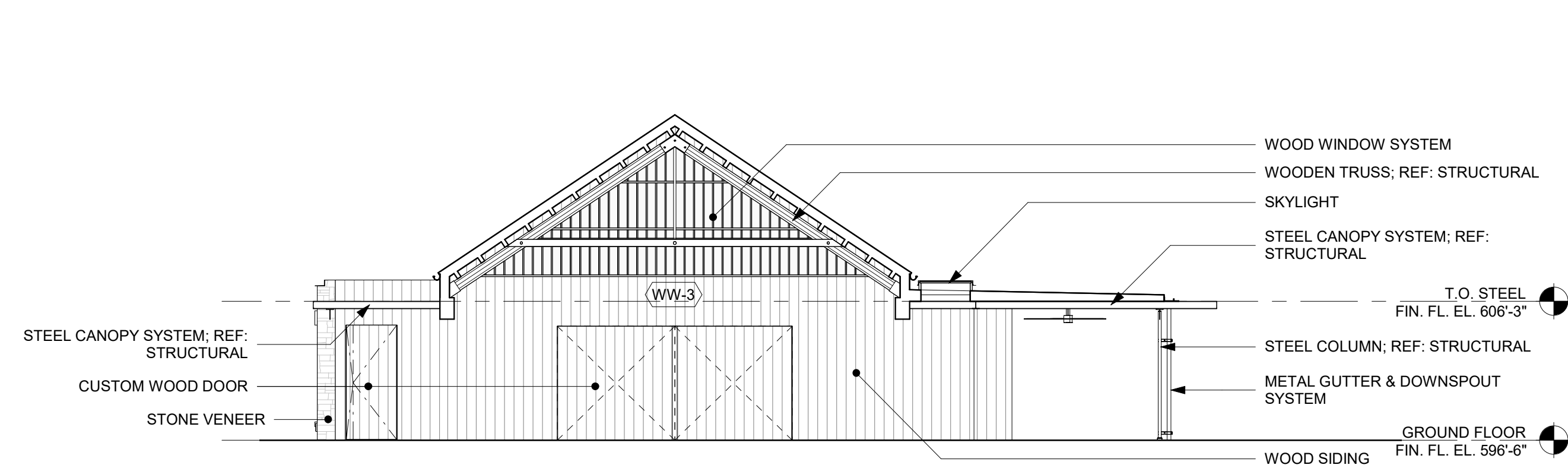
ISSUE DATE : 07/29/22
Δ REVISIONS

DESIGN PHASE SUBMITTAL

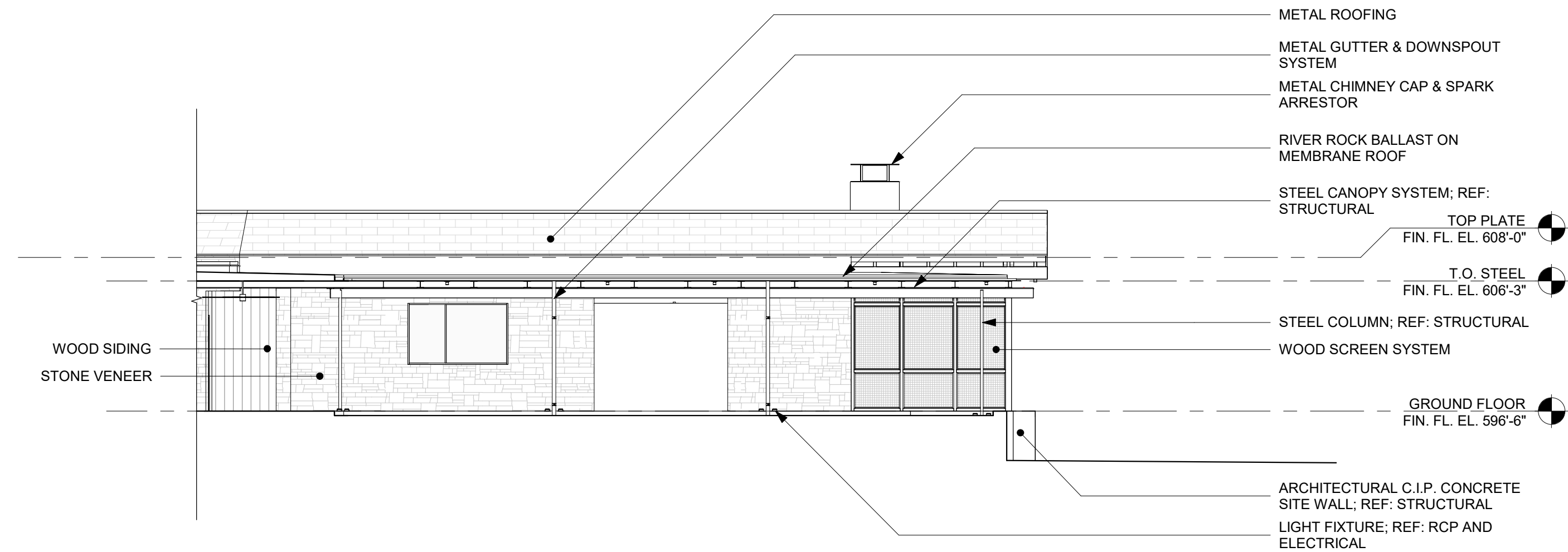
ARCHITECT:
ARTHUR W. ANDERSSON TX REGISTRATION # 13257
FREDERICK C. WISE TX REGISTRATION # 18699

EXTERIOR ELEVATIONS

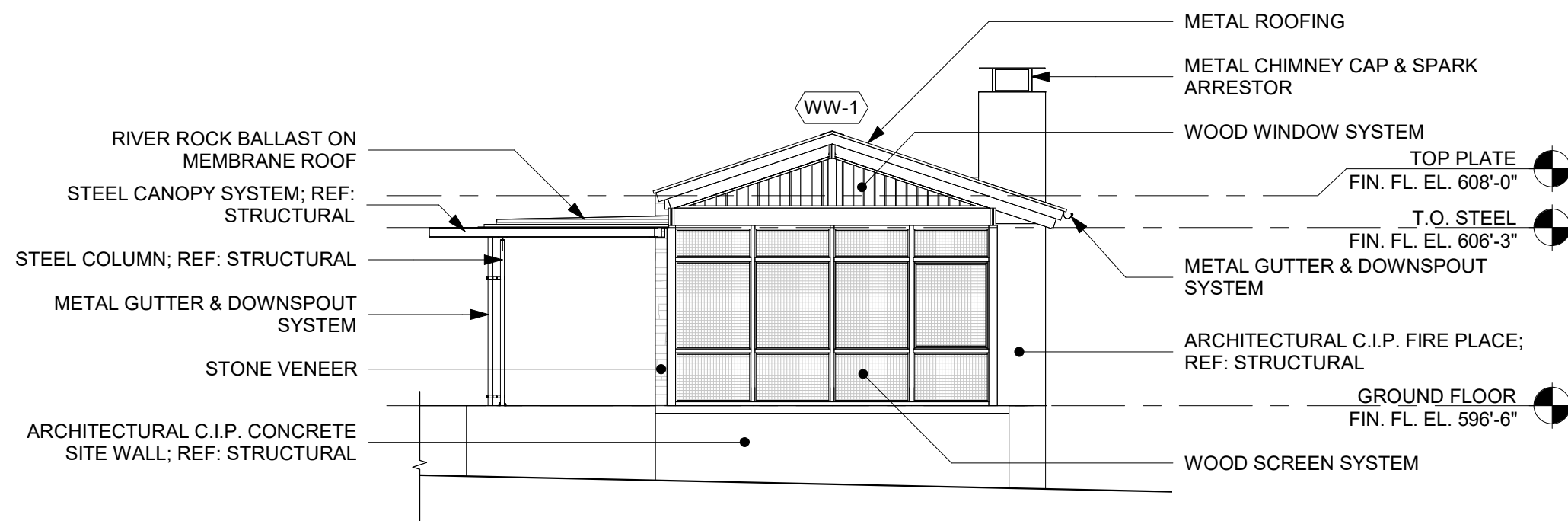
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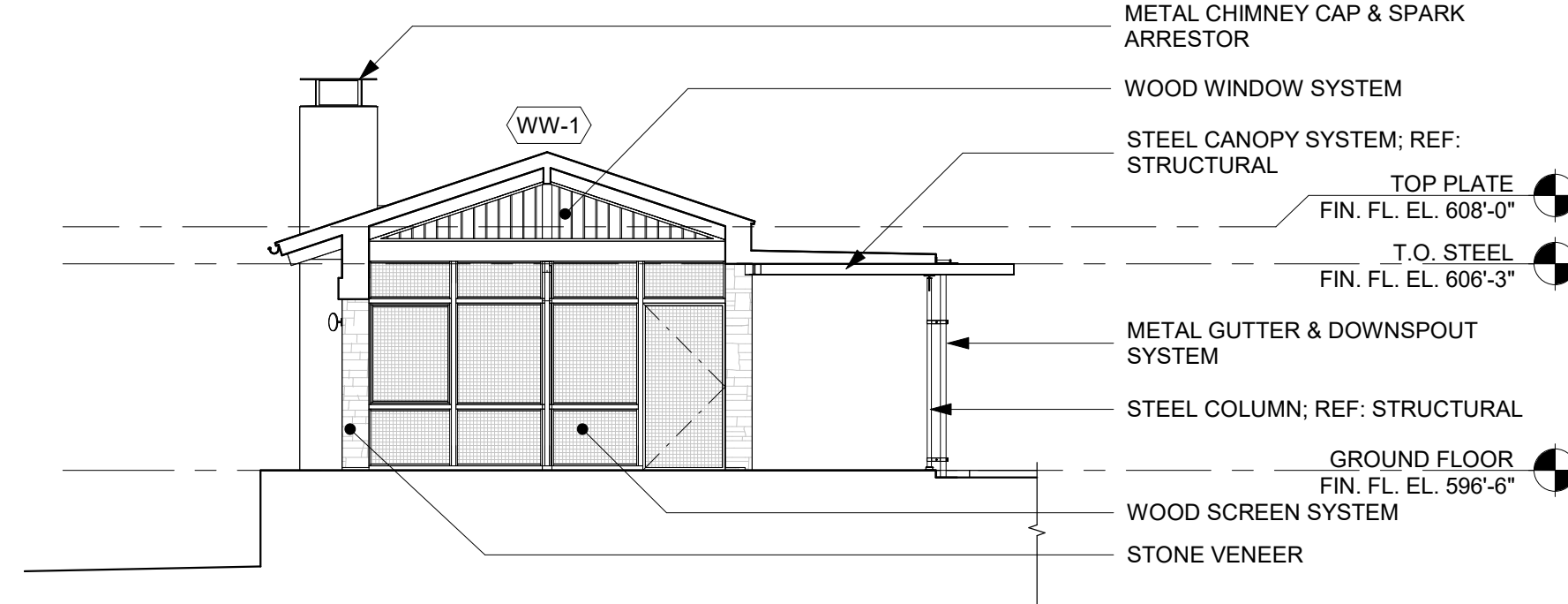
5 WEST ELEVATION - COMMUNITY PORCH
Scale: 1/8" = 1'-0"



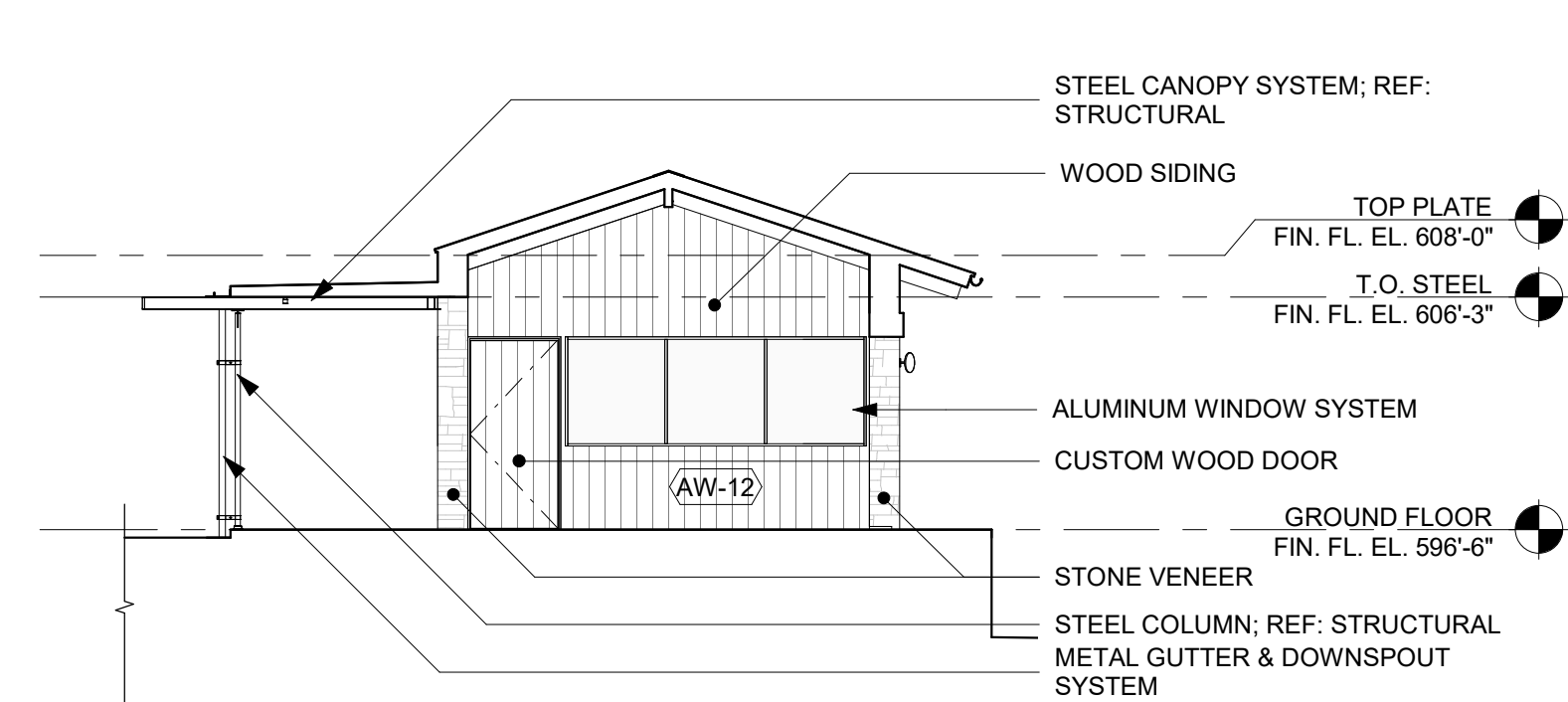
4 WEST ELEVATION - COURTYARD
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION - SCREEN PORCH
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION AT ENTRY
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION AT ENTRY
Scale: 1/8" = 1'-0"



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**MCCOY'S
RETREAT**

PROJECT NO. 2106

1200 DAVIS LN.
SAN MARCOS, TX 78666

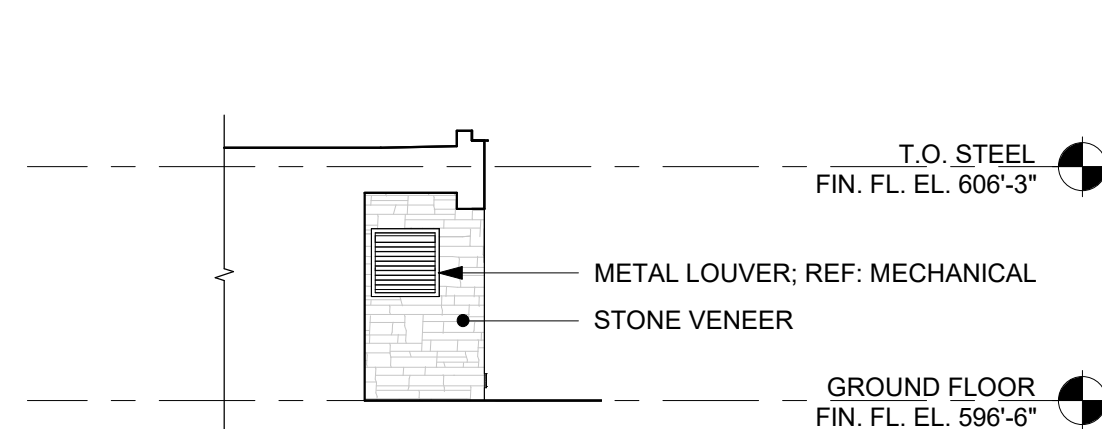
ISSUE DATE : 07/29/22
Δ REVISIONS

**DESIGN PHASE
SUBMITTAL**

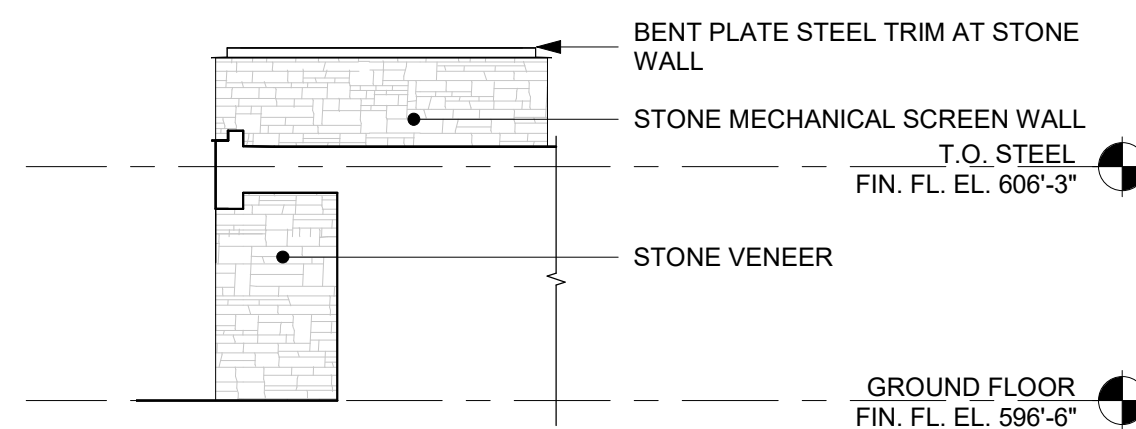
ARCHITECT:
ARTHUR W. ANDERSSON TX REGISTRATION # 13257
FREDERICK C. WISE TX REGISTRATION # 18699

**EXTERIOR
ELEVATIONS**

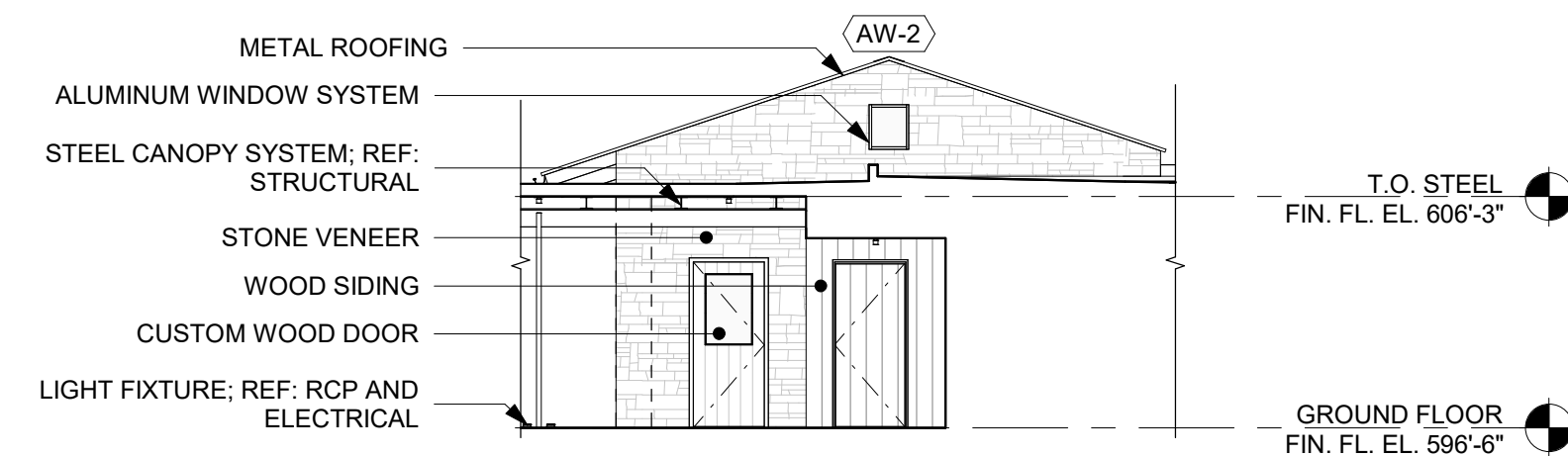
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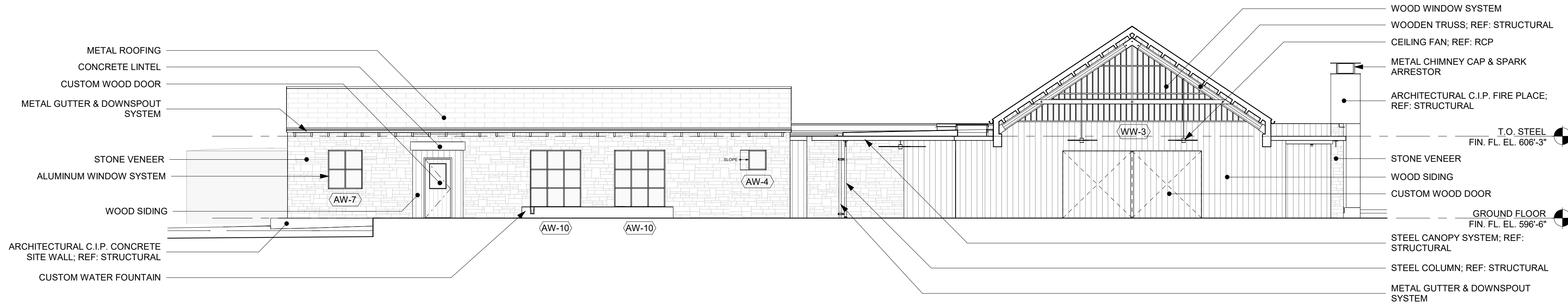
6 NORTH ELEVATION AT SERVICE ENTRY
Scale: 1/8" = 1'-0"



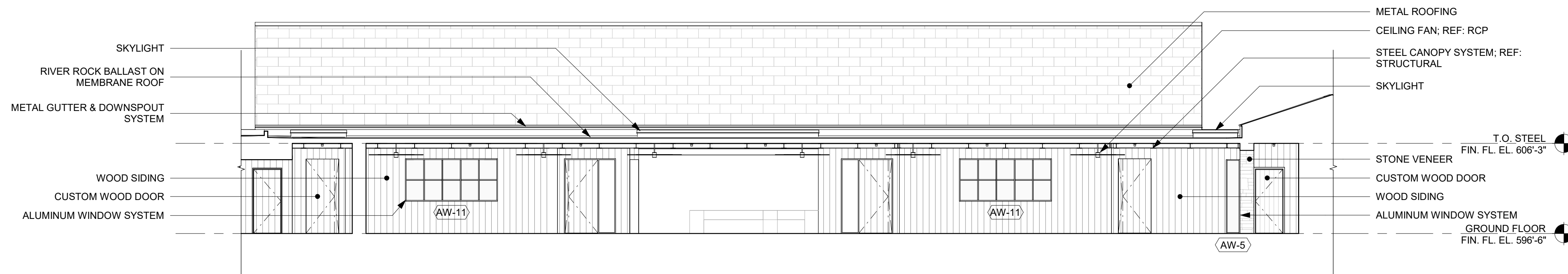
5 SOUTH ELEVATION AT SERVICE ENTRY
Scale: 1/8" = 1'-0"



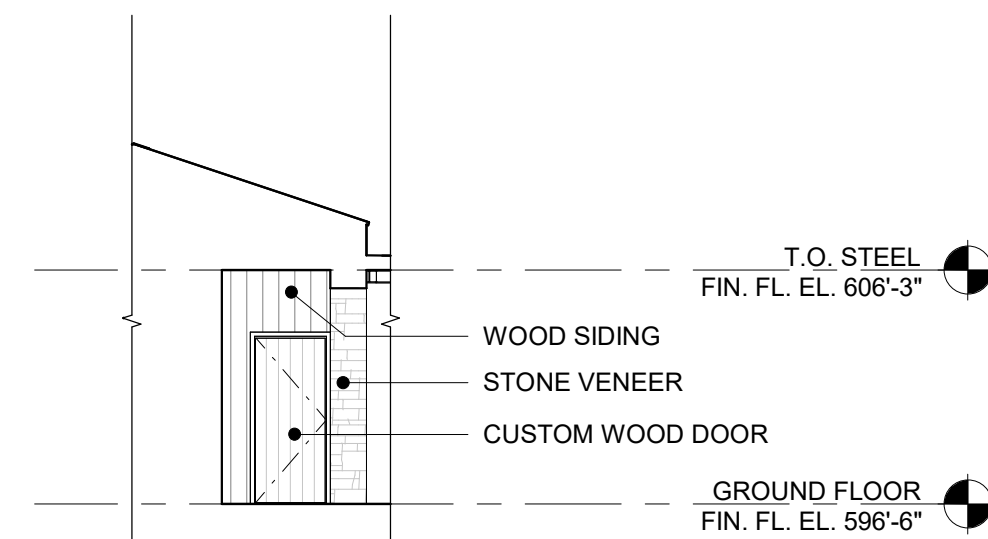
4 NORTH ELEVATION - WEST WING ENTRY
Scale: 1/8" = 1'-0"



3 EAST ELEVATION - COURTYARD
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION - COURTYARD
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION AT UNISEX RR
Scale: 1/8" = 1'-0"

Section 5.1.5.9 Special Event Facility

- A. Defined.** A facility or hall available for special events with indoor and outdoor space that accomodates private functions such as weddings, quinceanera, and similar celebrations.
- B. Use Standards.** Where a special event facility is allowed as a conditional use, it may be permitted by the Planning and Zoning Commission subject to Section 2.8.3.1, and the standards below.
1. **Minimum parcel size.** No event center shall be located on a site of less than five acres.
 2. **Transitional Protective Yard.** A type D transitional protective yard as per Table 7.8 of the Development Code is required in all instances, along the entire perimeter of the property.
 3. The permit holder shall not be permitted to hold a TABC license.
 4. A site plan illustrating, where appropriate: location, square footage and height of existing and proposed structures, landscaping or fencing, setbacks, parking, ingress & egress, signs, etc., shall be required and approved at the time of the Conditional Use Permit.
 5. A floor plan(s) illustrating fire exits, doors, rooms, indoor & outdoor seating, kitchen, bar, restroom, etc., shall be required and approved at the time of Conditional Use Permit.
 6. All uses of property shall comply with Section 7.4.2.1 of this Development Code.
 7. A parking buffer in accordance with Section 7.1.4.4 shall be required in all instances.



LEGEND

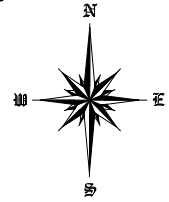
- 1/2" IRON PIN FOUND (UNLESS NOTED)
- ⊙ 3/4" IRON PIPE FOUND
- SET 1/2" IRON PIN WITH CUPLIN PROPERTY CAP
- △ CALC POINT
- .../... VOLUME/PAGE
- P.R.H.C. PLAT RECORDS HAYS CO.
- O.P.R.H.C. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S79°09'44"W	296.04'
L2	N03°08'59"E	46.04'
L3	N24°19'29"E	61.18'
L4	N37°09'32"E	59.85'
L5	N62°03'00"E	52.41'
L6	N68°06'57"E	121.11'
L7	S89°48'48"E	93.85'
L8	N85°56'43"E	17.52'
L9	N03°58'04"W	161.81'
L10	N71°38'53"W	13.94'
L11	N42°35'59"E	230.36'
L12	S77°40'53"E	86.25'

CURVE TABLE			
CURVE	RADIUS	ARC LEN	CHD LEN
C1	2805.27'	674.78'	673.15'
C2	50.00'	145.67'	99.35'
C3	13.00'	8.01'	7.88'
C4	1467.39'	165.54'	165.45'

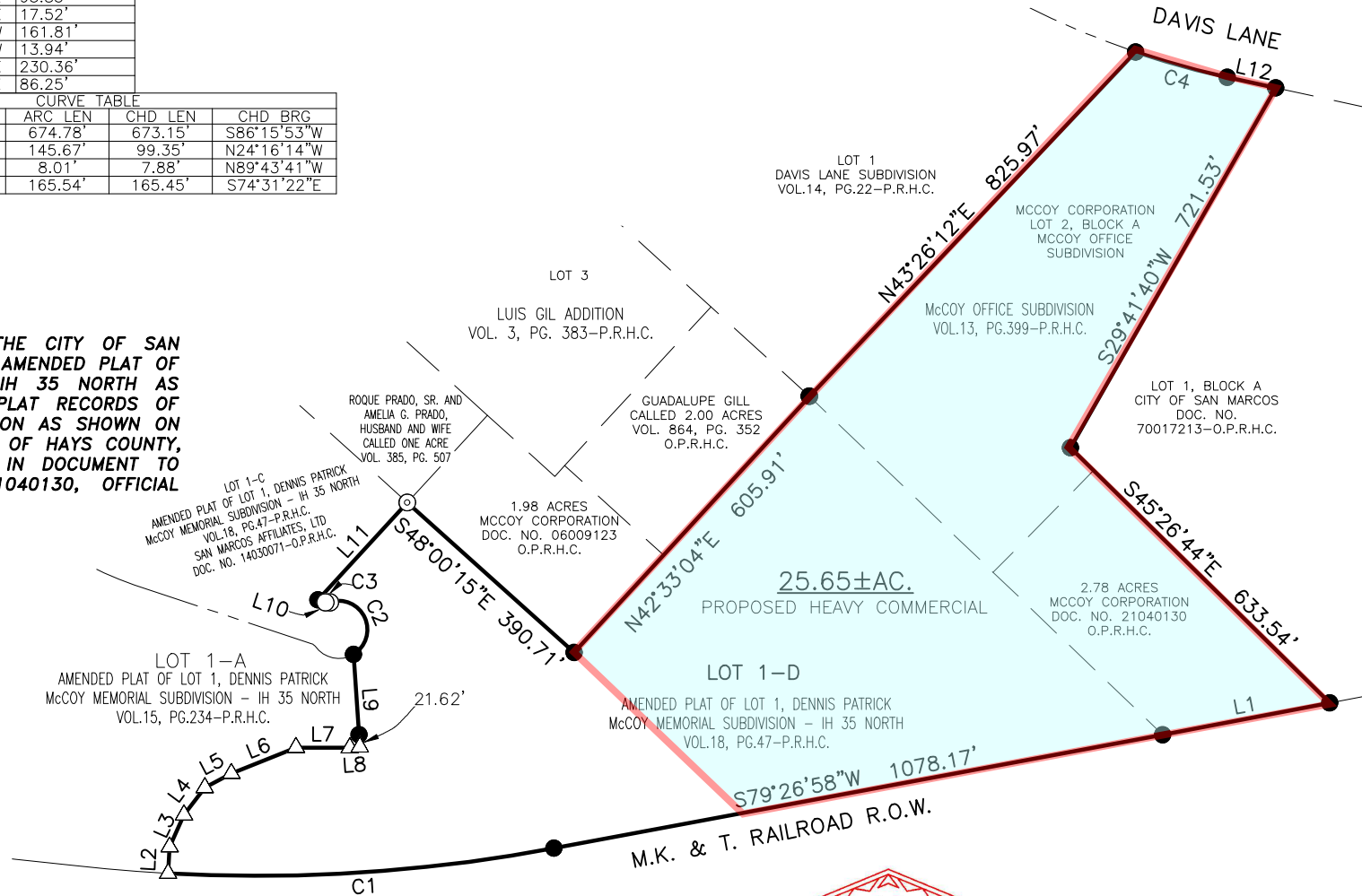
NOTES:

- 1) BASIS OF BEARINGS ARE TO THE NORTH AMERICAN DATUM OF 1983, TEXAS COORDINATE SYSTEM, CENTRAL ZONE.
- 2) THIS EXHIBIT IS NOT VALID TO CONVEY REAL PROPERTY - IT IS ONLY AN EXHIBIT FOR ZONING CHANGES AND IS NOT A BOUNDARY SURVEY.



ZONING EXHIBIT

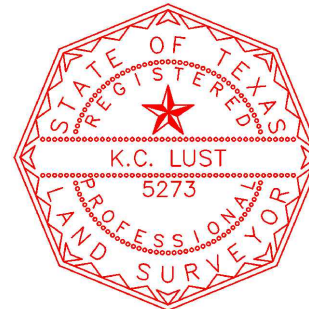
LEGAL DESCRIPTION: BEING 25.65 ACRES OF LAND IN THE CITY OF SAN MARCOS, HAYS COUNTY, TEXAS, COMPRISING OF LOT 1-D, AMENDED PLAT OF LOT 1, DENNIS PATRICK McCOY MEMORIAL SUBDIVISION-IH 35 NORTH AS SHOWN ON PLAT RECORDED IN VOLUME 18, PAGE 47, PLAT RECORDS OF HAYS COUNTY, TEXAS, LOT 2 OF McCOY OFFICE SUBDIVISION AS SHOWN ON PLAT RECORDED IN VOLUME 13, PAGE 399, PLAT RECORDS OF HAYS COUNTY, TEXAS, TOGETHER WITH A 2.78 ACRE TRACT DESCRIBED IN DOCUMENT TO McCOY CORPORATION, RECORDED IN DOCUMENT NO. 21040130, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.



I HEREBY CERTIFY THAT THIS EXHIBIT WAS PERFORMED ON THE GROUND AND WAS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION. CUPLIN & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE ABOVE REFERENCED PARTIES HEREBY CERTIFIED TO FOR THIS SPECIFIC TRANSACTION ONLY. COPYRIGHT 2022, CUPLIN & ASSOCIATES, INC. ©.

K.C. LUST, R.P.L.S. NO. 5273

DATED 08/30/2022



REVISIONS		DESCRIPTION	
2	1	DATE	NO.
SCALE 1" = 300'		150 300	
1500 OLLIE LANE		MARBLE FALLS, TX 78654	
PH 325-388-3300/830-693-8815		WWW.CUPLINASSOCIATES.COM	
PROJ NO. 22602	PREPARED FOR: ECKERMAN ENGINEERING	TECH: KCL	APPROVED: K.C. LUST
COPYRIGHT: 2022	PROFESSIONAL FIRM NO: 10126900	SHEET 1 OF 1	