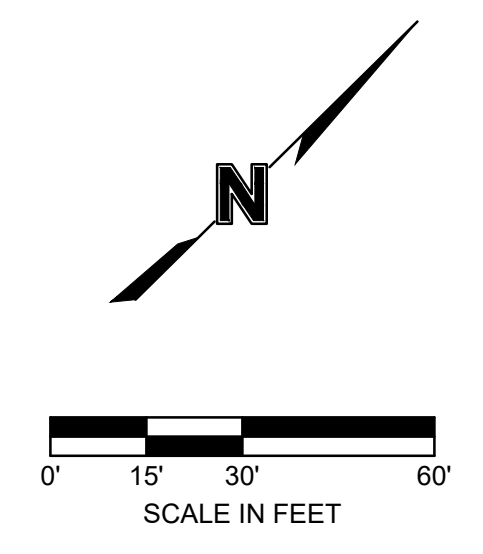
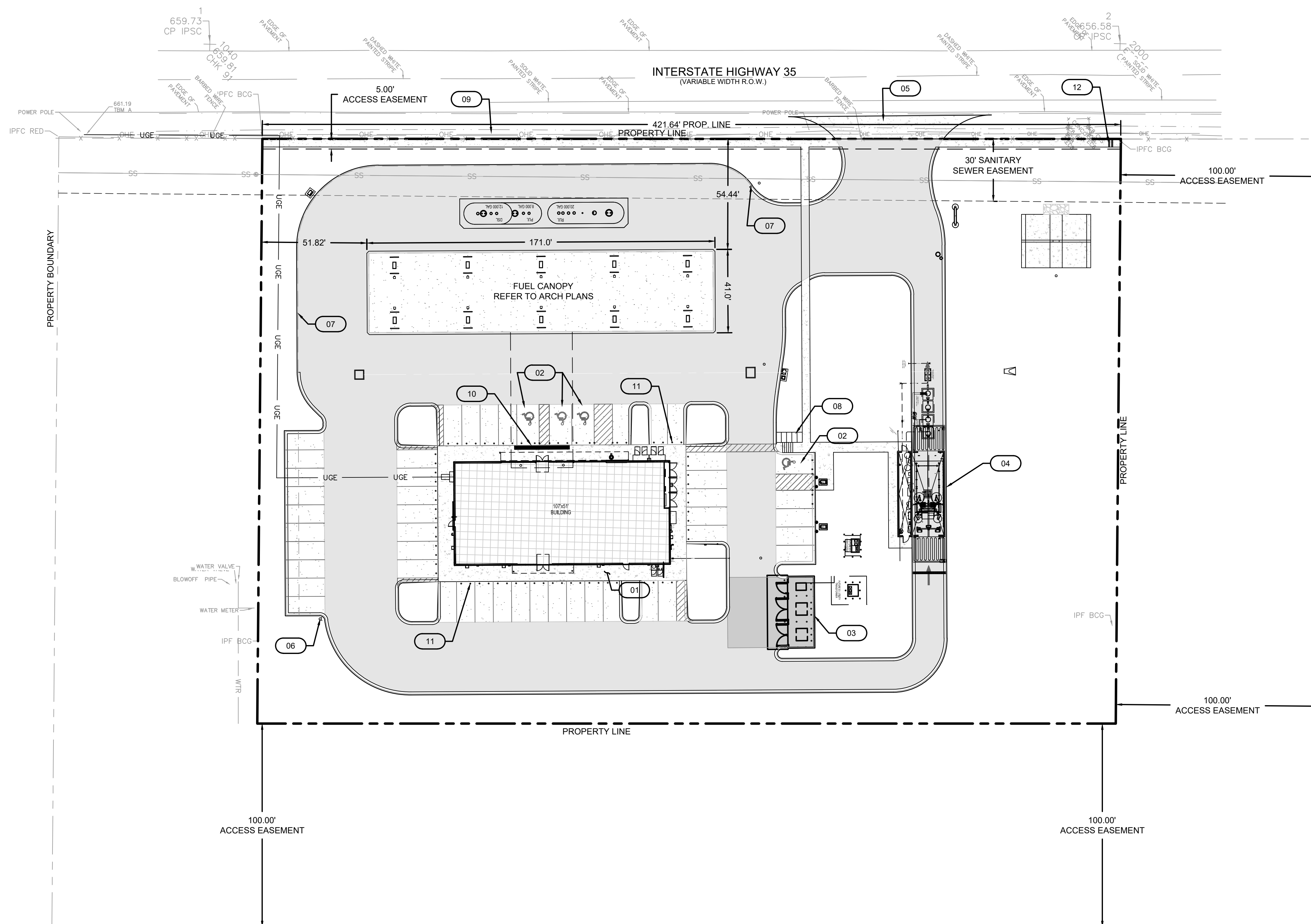


DWG: Z:\021-0002_7E_Las Colinas\40-Design\AutoCAD\Final Plans\Sheets\DWG\021-002-PSITE.dwg
 DATE: Aug 08, 2023 5:17pm XREFS: C_EBASE_021-0002 TBLK_24X36
 USER: 18165



LEGEND

- — — — — PROPERTY LINE
- P-OH — — — — — EXISTING OVERHEAD POWER
- UGE — — — — — EXISTING UNDERGROUND POWER
- T — — — — — EXISTING TELEPHONE CONDUIT
- CATV — — — — — EXISTING CABLE TELEVISION CONDUIT
- FO — — — — — EXISTING FIBER OPTIC CONDUIT
- G — — — — — EXISTING NATURAL GAS SERVICE
- FP — — — — — EXISTING FIRE PROTECTION SERVICE
- W — — — — — EXISTING WATER SERVICE
- SS — — — — — EXISTING SANITARY SEWER
- SD — — — — — EXISTING ROOF DRAINS AND HEADER PIPES
- — — — — EXISTING STORM SEWER
- UGE — — — — — INSTALL POWER CONDUIT
- T — — — — — INSTALL TELEPHONE CONDUIT
- CATV — — — — — INSTALL CABLE TELEVISION CONDUIT
- FO — — — — — INSTALL FIBER OPTIC CONDUIT
- G — — — — — INSTALL NATURAL GAS SERVICE
- FP — — — — — INSTALL FIRE PROTECTION SERVICE
- W — — — — — INSTALL DOMESTIC WATER SERVICE
- SS — — — — — INSTALL SANITARY SEWER SERVICE
- SD — — — — — INSTALL ROOF DRAINS AND HEADER PIPES
- — — — — INSTALL STORM SEWER
- — — — — INSTALL CURB & GUTTER
- — — — — INSTALL SLOTTED CURB
- [Pattern] PROPOSED CONCRETE SIDEWALK
- [Pattern] PROPOSED BUILDING
- [Pattern] PROPOSED LIGHT DUTY CONCRETE PAVEMENT (5')
- [Pattern] PROPOSED MEDIUM DUTY CONCRETE PAVEMENT (6')
- [Pattern] PROPOSED HEAVY DUTY CONCRETE PAVEMENT (7')

NOTES:

1. EXISTING UTILITIES IN APPROXIMATE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TEXAS ONE CALL CENTER PRIOR TO THE STATE OF ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
2. ALL UTILITY SYMBOLS SHOWN REPRESENT APPROXIMATE LOCATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL REFER TO THE APPROPRIATE AGENCY'S STANDARD SPECIFICATIONS AND INSTALLATION DETAILS FOR ACTUAL LOCATIONS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

KEYNOTES

- 01 PROPOSED CONCRETE SIDEWALK
- 02 PROPOSED ADA PARKING STALLS AND ACCESSIBLE RAMP
- 03 PROPOSED TRASH ENCLOSURE — RE: ARCH PLANS
- 04 PROPOSED CAR WASH STRUCTURE — RE: ARCH PLANS
- 05 PROPOSED COMMERCIAL DRIVEWAY PER TXDOT PERMIT #19-40634.R1 PER CITY OF SAN MARCOS STANDARD DETAILS
- 06 PROPOSED FIRE HYDRANT
- 07 INSTALL SLOTTED CURB
- 08 PROPOSED BICYCLE RACK
- 09 PROPOSED 4' SIDEWALK
- 10 PROPOSED ADA WARNING PAD
- 11 PROPOSED BOLLARD (TYP. ALL PARKING STALLS ALONG SIDEWALKS)
- 12 PROPOSED CURB DRAINAGE FLUME

WARNING - OVERHEAD POWER LINES
 CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF OVERHEAD POWER LINES.

TX2 ENGINEERING
 FIRM # 20787
 CONTACT: 845 FLORAL AVE, STE C
 NEW BRAUNFELS, TX 78130
 TEL: (817) 510-9151

PROPOSED SITE PLAN
 SEVEN ELEVEN LAS COLINAS
 5821 S IH 35
 SAN MARCOS, TEXAS

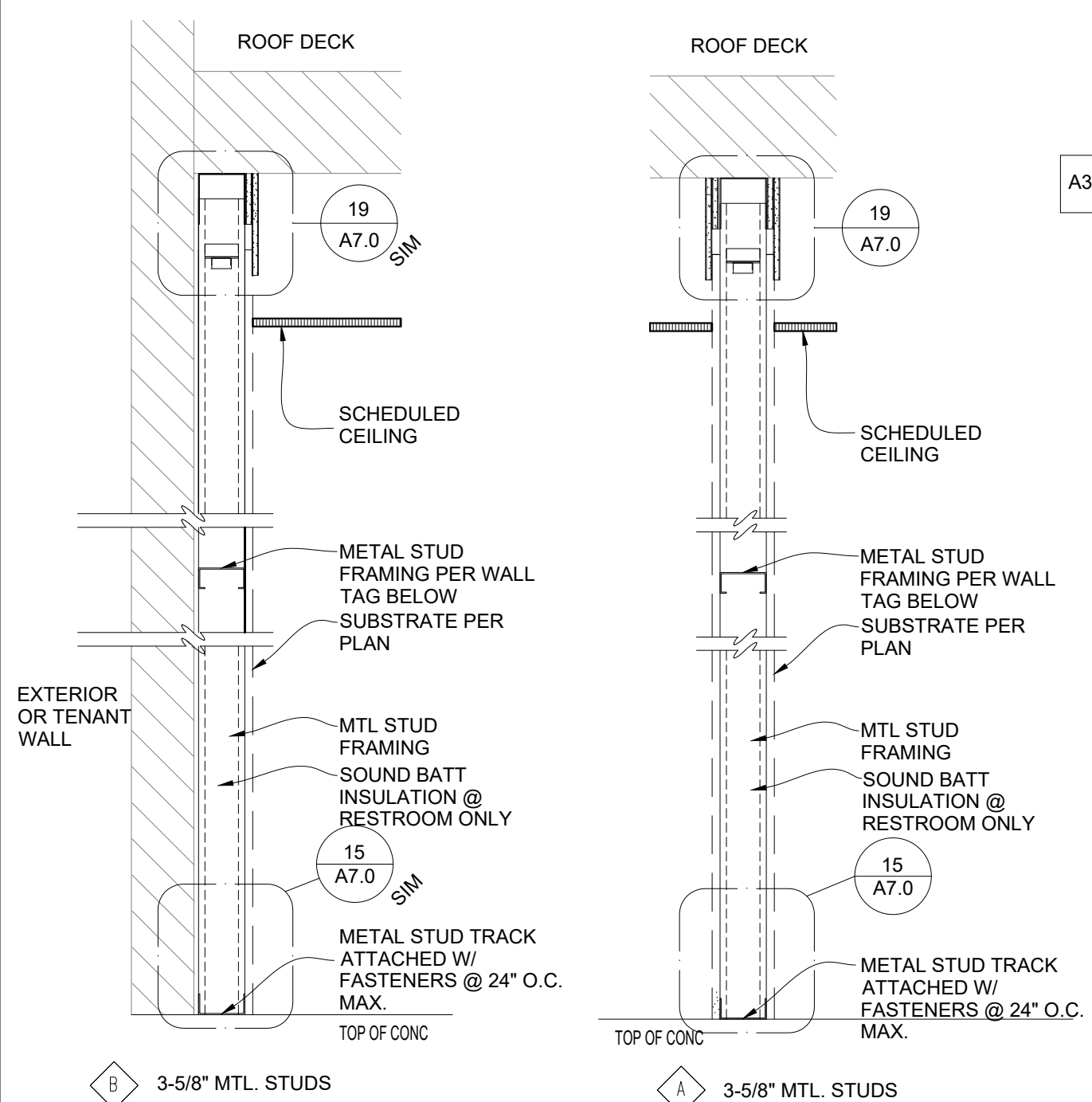
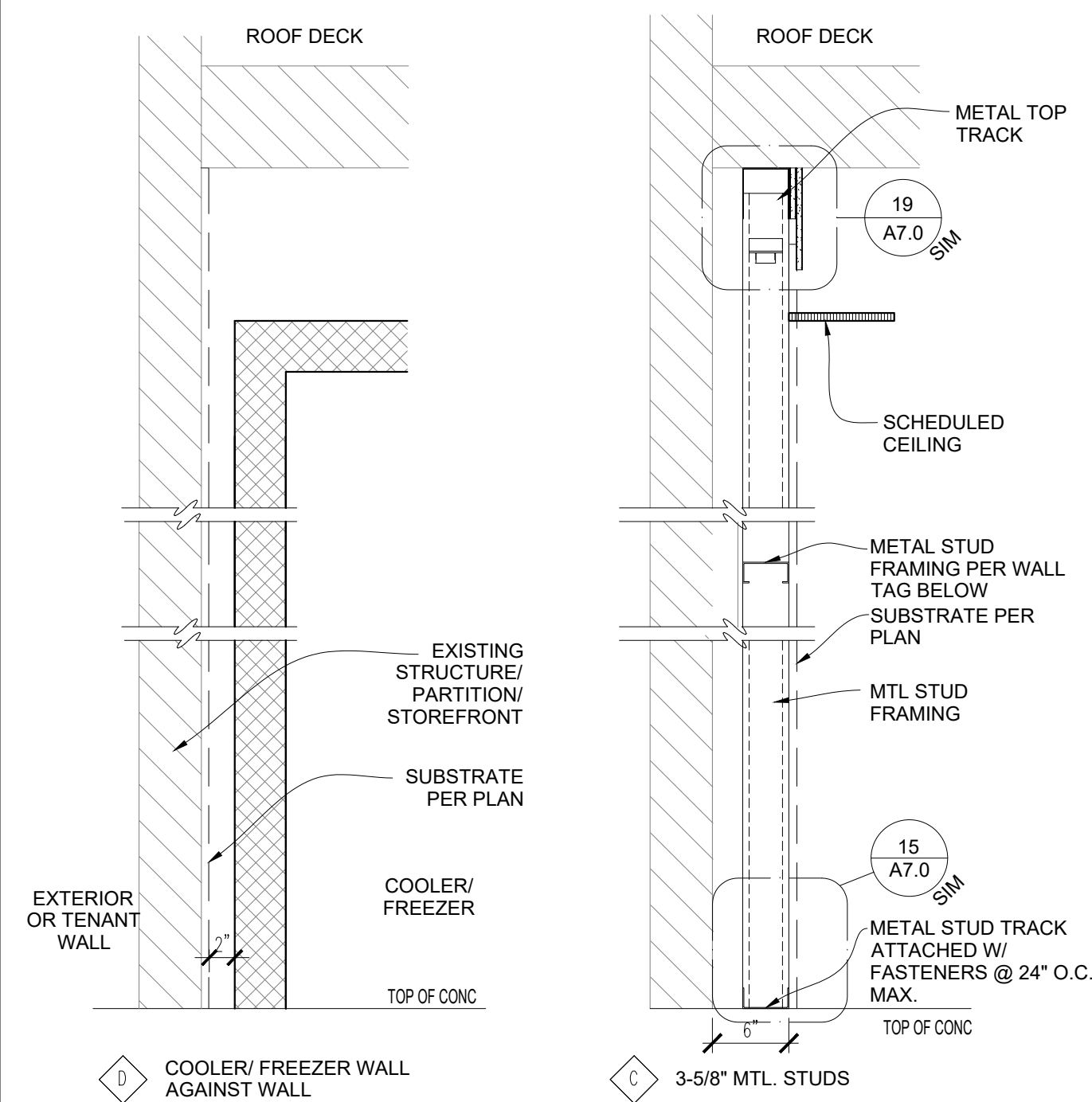
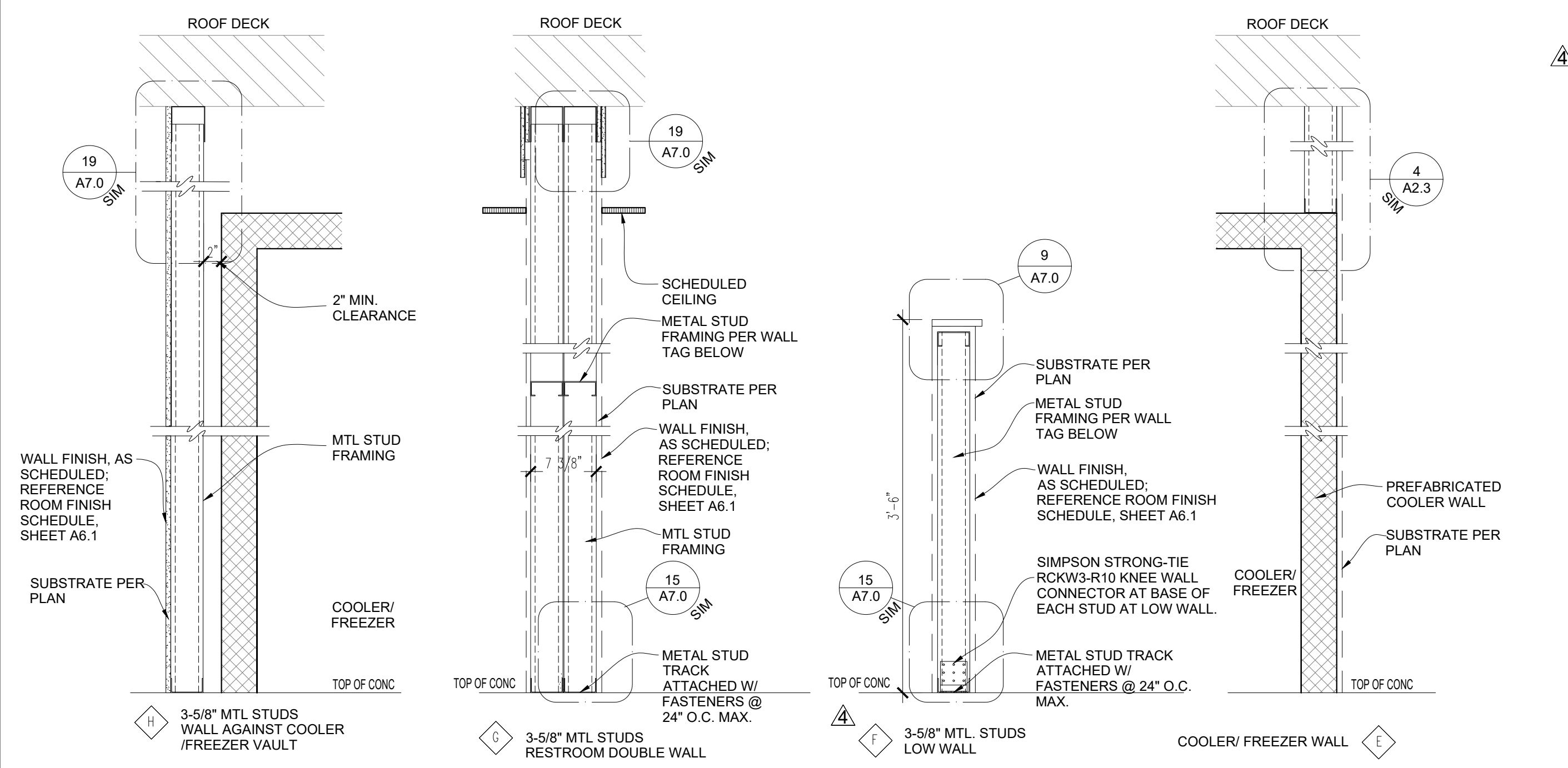
2022

REV.	DATE	DESCRIPTION

DRAWN BY:	MA
CHECKED BY:	EVAN
APPROVED BY:	TNT
QA/QC BY:	TNT
PROJECT NO.:	021-0002
DWG NAME:	
DATE:	2/17/2022
SHEET	

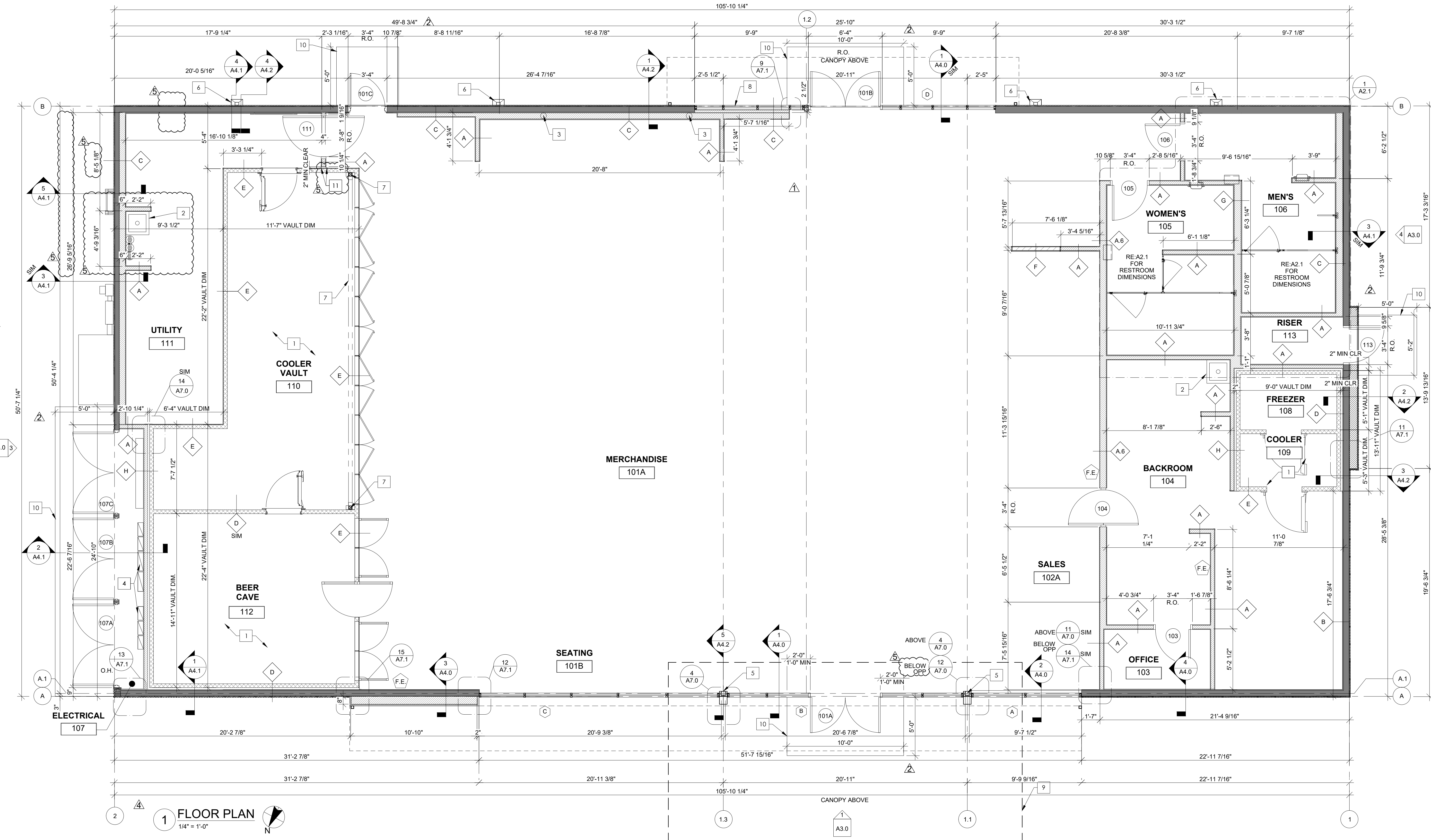


C3.0



NOTE: REFERENCE A2.2 FOR WALL FINISH AND SUBSTRATE TYPES

2 WALL TYPES
1" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES	
1. CONTRACTORS SHALL NOT SCALE THESE DRAWINGS. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS THE CONTRACTORS SHALL NOTIFY THE CONSTRUCTION PROJECT MANAGER.	10. FIRE EXTINGUISHER: #10 CLASS ABC WITH UL RATING 4A-60BC, SURFACE MOUNTED ON WALL WITH MANUFACTURER'S ALL STEEL WALL BRACKET. J.L. INDUSTRIES INC. (GOSMIC 10E) OR APPROVED EQUAL WITH INSPECTION TAG AS REQUIRED BY LOCAL CODES.
2. GENERAL CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS, AND SITE GRADES PRIOR TO START OF WORK.	11. CONTRACTOR TO INSTALL COAT HOOKS FOR EMPLOYEES. REFERENCE SHEET EFT ITEM 220. INSTALL 2 IN OFFICE AND 3 IN BACKROOM. LOCATION TO BE DETERMINED BY CONSTRUCTION PROJECT MANAGER. SEE DOOR HARDWARE SCHEDULES.
3. VERIFY SIZE, LOCATION, AND CHARACTERISTICS, OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION PERTAINING TO SAME IS BEGUN.	12. G.C. TO FURNISH AND INSTALL RIS BACKBOARD AT ISP DESK. REFERENCE MATERIALS SCHEDULE ON SHEET A6.1.
4. ALL EXTERIOR WALL DIMENSIONS ON THE PLANS UNLESS OTHERWISE NOTED ARE TO OUTSIDE FACE OF SIP, CMU BLOCK OR STRUCTURAL SHEATHING.	
5. 2" AIR SPACE BETWEEN COOLER WALL AND BUILDING WALL, OR ANY EQUIPMENT ADJACENT TO COOLER, WALK-IN COOLER SUPPLIED BY 7-ELEVEN, INC. INSTALLATION TO BE DETERMINED BY CONSTRUCTION PROJECT MANAGER.	
6. CONTRACTOR TO PROVIDE AND INSTALL WALL BACKING FOR WALL HUNG FIXTURES AND TOILET ACCESSORIES.	
7. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED, MOISTURE RESISTANT WOOD.	
8. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5.0 L.B.F. FOR INTERIOR DOORS.	
9. ALL DOORS SHALL BE KEYLESS IN DIRECTION OF EGRESS.	

KEYNOTES	
1. PRE-FABRICATED COOLER WALLS, CEILING, FLOOR, DOORS AND RACKS. MAINTAIN 2" AIR SPACE BETWEEN COOLER AND ADJACENT WALLS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO FIELD VERIFY DIMENSIONS WITH PROJECT MANAGER.	
2. MOP SINK, REFERENCE PLUMBING.	
3. PROVIDE SPACE IN WALL FOR VERTICAL 6" PVC CONDUIT DOWN TO RECESSED STAINLESS STEEL WALL CHASE FOR HOUSING CO2 AND SYRUP LINES FOR POST MIX, FUB, AND SLURFEE MACHINES.	
4. ELECTRICAL PANELS, REFERENCE ELECTRICAL SHEETS.	
5. STEEL COLUMN; REFERENCE SIPS SHEETS.	
6. DOWNSPOUT; REFERENCE ELEVATIONS SHEET A3.0.	
7. STEEL COLUMN AND BEAM, PROVIDED AND INSTALLED BY VAULT MANUFACTURER.	
8. 3M WINDOW FILM ADDED BEFORE FURR WALL.	
9. FUEL CANOPY ABOVE.	
10. ENTRY/FROST SLAB, REFERENCE STRUCTURAL SHEETS.	
11. SST VERTICAL CLOSURE STRIP.	

WALL LEGEND	
	METAL STUD WALL
	SIPS PANEL WALL
	LOW WALL
	COOLER WALL

Rev. #	Date	Description
1	04.18.22	Peer Review Response
2	05.05.22	Peer Review Response
3	05.13.22	CITY COMMENTS
4	10.18.22	ISSUE FOR CONSTRUCTION
5	03.21.23	CLIENT CHANGES
6	04.17.23	Peer Review Response
	05.11.23	VAULT FREEZER UPDATES

9350 CST-2022-01

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063

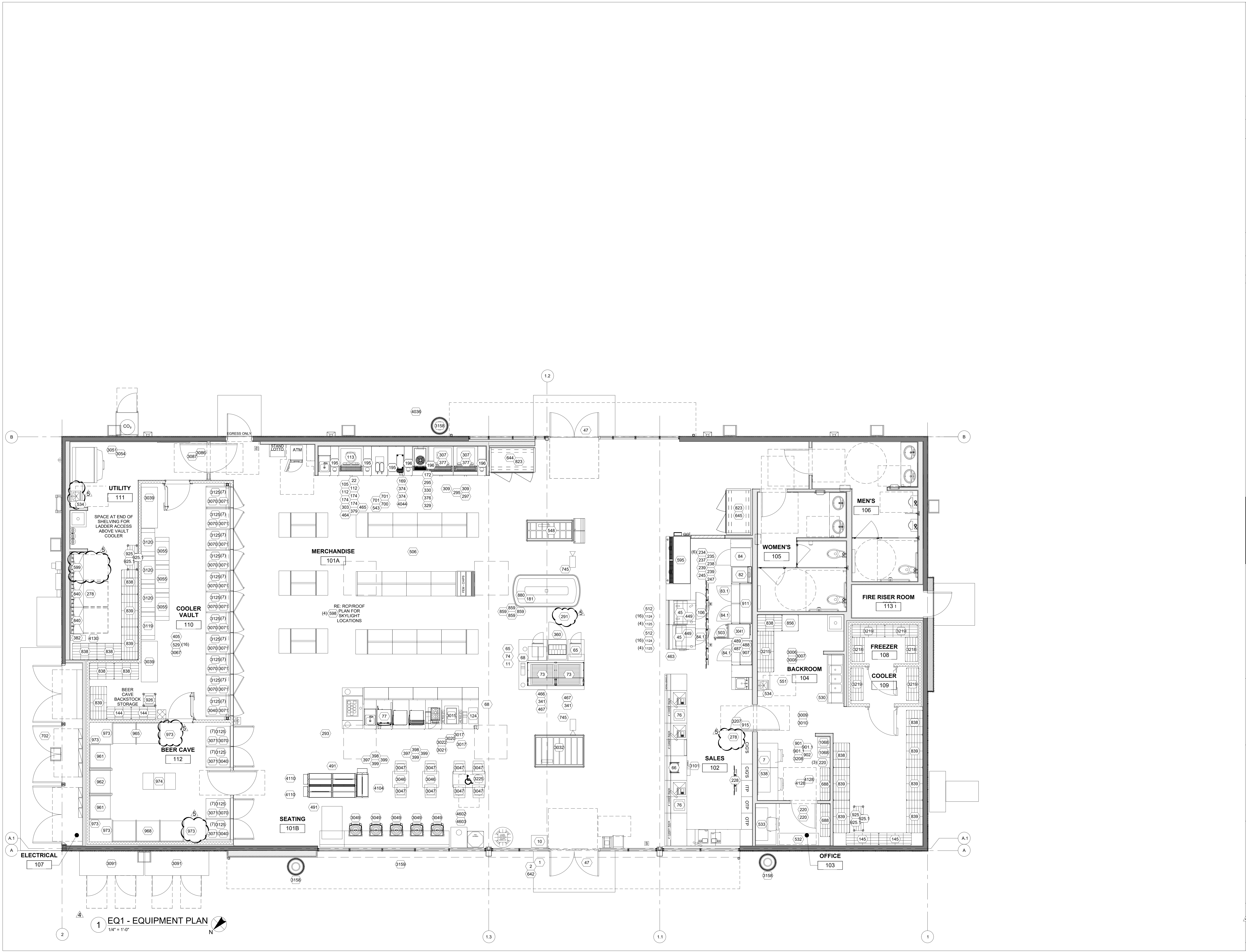
7-ELEVEN #42110
135 & ZELL DICKINSON
SAN MARCOS, TX 78666

DIMENSION GROUP
ARCHITECTURAL/CIVIL/ENGINEERING/MEP/ENGINEERING
1515 N. HAWK CREEK
IRVING, TX 75038
TEL: 972-444-8444
WWW.DIMENSIONGROUP.COM

Job#: 200-670
Scale: AS NOTED
Date: 03/30/2022
Drawn By: DP
Checked By: AM

Documents prepared by the Group are for the specific project and are not to be used for any other project, by owner or any other party, without the expressed, written consent of the Group. Group is done at the user's own risk. The user assumes all liability for any and all damages and losses.

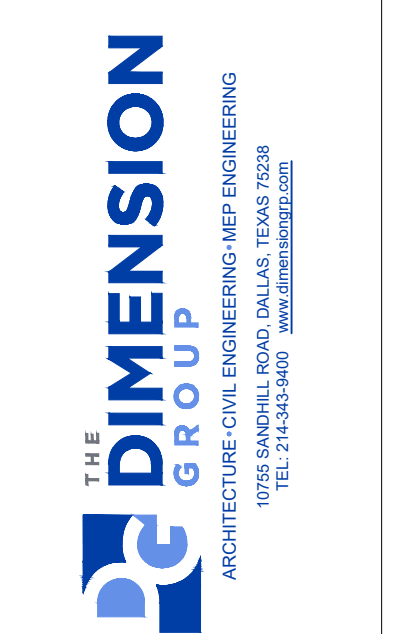
SHEET:
A2.0
DIM FLOOR PLAN & INT.
WALL TYPES
9350 CST - RIGHT



1 EQ1 - EQUIPMENT PLAN
1/4" = 1'-0"

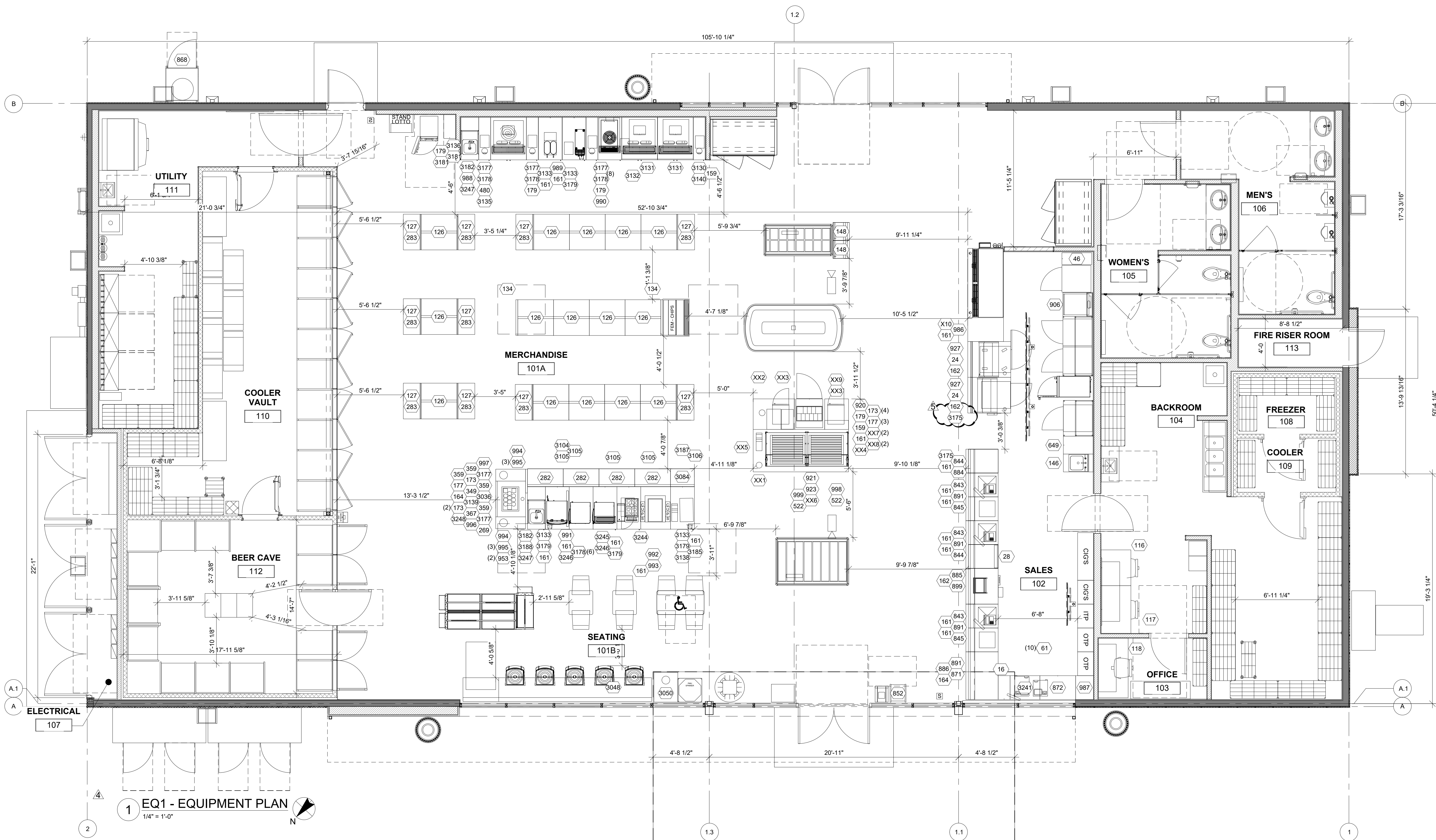
Rev. #	Date	Description
1	04.18.22	Peer Review Response
2	05.05.22	Peer Review Response
3	05.13.22	CITY COMMENTS
4	10.18.22	ISSUE FOR CONSTRUCTION
5	03.21.23	CLIENT CHANGES
6	04.17.23	Peer Review Response
6	05.11.23	VAULT FREEZER UPDATES

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #42110
BSE & ZELL DICKINSON
SAN MARCOS, TX 78666
EQUIPMENT FLOOR PLAN



Job#: 200-670
Scale: AS NOTED
Date: 03/30/2022
Drawn By: KB
Checked By: AM

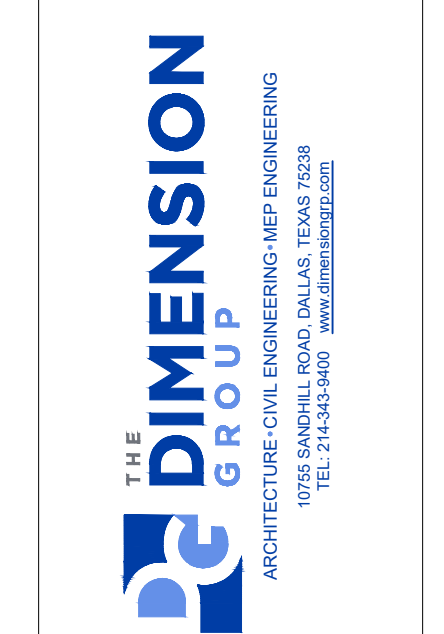
Documents prepared by the Group are for the specific project and are not to be used for any other project, without the expressed, written consent of the Group. Group is done at the user's own risk. The Dimension Group assumes no liability for any errors or omissions from all claims and losses.



1 EQ1 - EQUIPMENT PLAN
1/4" = 1'-0"

Rev. #	Date	Description
1	04.18.22	Peer Review Response
2	05.05.22	Peer Review Response
3	05.13.22	CITY COMMENTS
4	10.18.22	ISSUE FOR CONSTRUCTION
5	03.21.23	CLIENT CHANGES
6	04.17.23	Peer Review Response
6	05.11.23	VAULT FREEZER UPDATES

7-ELEVEN, INC.
3200 HACKBERRY ROAD, IRVING, TX 75063
7-ELEVEN #42110
135 & ZELL DICKINSON
SAN MARCOS, TX 78666
FIXTURE FLOOR PLAN



Job#: 200-670
Scale: AS NOTED
Date: 03/30/2022
Drawn By: KB
Checked By: AM

Documents prepared by the Group are for the specific project and are not to be used for any other project, without the expressed, written consent of The Dimension Group. The Dimension Group assumes no liability for any errors or omissions in this document. The user will hold The Dimension Group harmless from all claims and losses.



TX2 Engineering
Firm F-20787
645 Floral Ave, Ste C
New Braunfels, TX 78130
816-510-9151

July 25, 2023

Development Services Permit Center
City of San Marcos
630 E. Hopkins St.
San Marcos, TX 78666

Re: Alternative Compliance Application for Project No.: 2022-43254

Project Description:

The subject property is located at 5900 Block S IH 35 in the City of San Marcos. The property has been annexed, rezoned (CM), and approved for a conditional use permit (CUP) for a Commercial Convenience Store with associated infrastructure and car wash accessory building. The property will take access from TXDOT Right of Way. A proposed site plan for the property has been attached to this project description and application for review and approval. The proposed development consists of a commercial convenience store with a connected fuel canopy and associated car wash. The convenience store is proposed to have parking on four sides of the building for access to the building as is common for most convenience stores.

The Zoning case for the property was initially submitted as Heavy Commercial (HC) due to HC being the only permitted use for Gasoline sales within the City's Land Use Matrix (Development Code Table 5.1 attached). During the zoning process and the City planning meeting, the members discussed that they did not support the zoning of HC use as it allows for Truck Stops as well as gasoline services, and therefore recommended CM zoning with supplemental support of approval for a CUP for the use of gasoline sales as allowed. HC and CM zoning have different requirements for setbacks and build to zones. HC has no requirements for build to zone with minimums listed for setbacks, whereas CM requires the building to be located within minimums and maximums for setbacks with percents of the building facing primary and secondary streets as applicable for build to zones. The CM zone was approved at Planning and Zoning Meeting and the CUP was approved thereafter.

The subject property is located at 5900 IH 35 near the western edge of City Limits. The adjacent properties are outside of the corporate City limits. Other properties within the City and adjacent to the proposed development have zoning districts of General Commercial (GC) to the west, and Community Commercial (CC) to the east. GC and CC are both legacy districts that do not have maximum setback requirements or build to zone requirements. It is understood that these are legacy zoning districts and that newer standards have been created. The new zoning classification of CM and requirements have the potential to conflict with the adjoining districts from a standard of development which would look different as development pushes outward from the City center.

The existing Zoning Code for CM requires a Build To Zone and Setback maximums for the principal building as noted in Development code section 4.4.4.1 (attached). The property is proposed to be serviced by COSM Sanitary Sewer facilities that were installed under Permit PICP-2019-28429, the installed sewer line and associated 20' utility easement as shown in attached approved PICP Plan Sheet document an easement that is 20' in width centered on the constructed sewer line. The constructed sewer line has been installed approximately 20' from the property line creating an easement that extends 30' into the property. The sewer line and easement are shown in the attached project site plan. The sanitary sewer line and easement necessitate the need for a variance from CM zoning requirements for maximum setback requirements.



TX2 Engineering
Firm F-20787
645 Floral Ave, Ste C
New Braunfels, TX 78130
816-510-9151

In summary, the constructed sewer line and easement dictate that a proposed building cannot be located within the required maximum setback for a primary building. In addition to the permitted and installed sewer line, the proposed property is bounded by legacy zoning districts that allow buildings to be pushed back from the right of way with parking located between the building and right of way as well as less restrictive site planning requirements related to setbacks and build to zones. It is for these reasons that we request a variance from Maximum Setbacks, parking location and build to zone requirements for the proposed development. This request is proposed with the intention to create a cohesive development appearance as vehicles enter San Marcos along the I35 corridor.

Thanks for your consideration.

Sincerely,

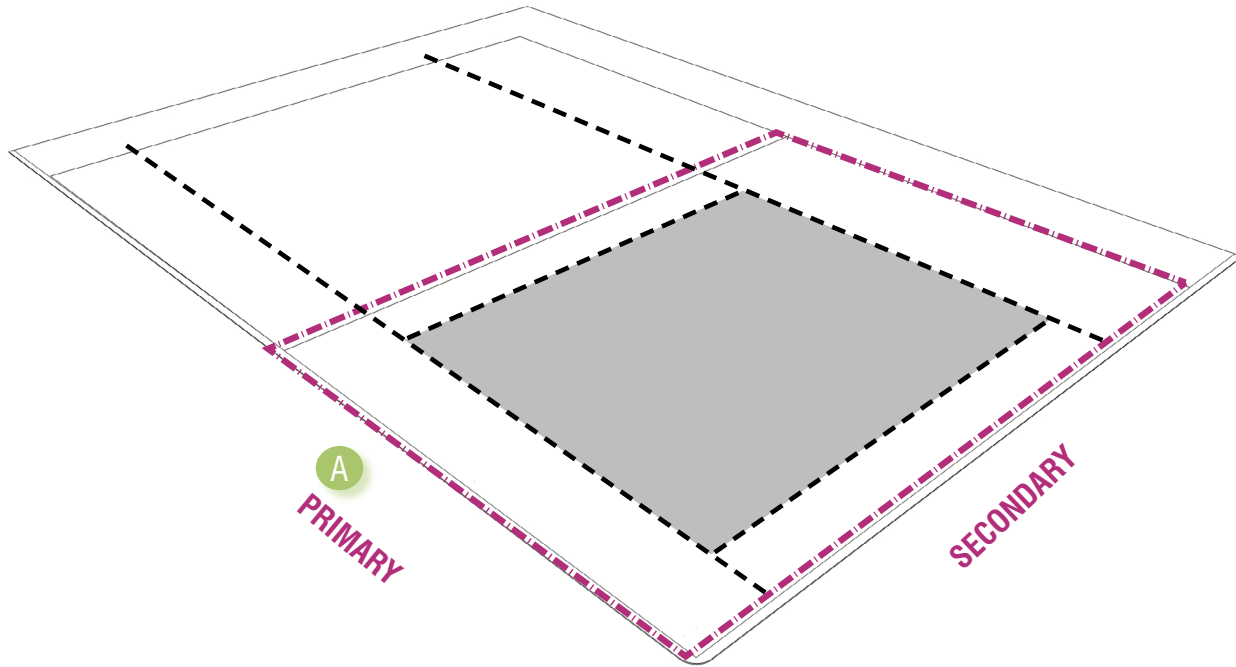
A handwritten signature in blue ink, appearing to read 'Trevor Tast', is written over a horizontal line.

Trevor Tast, P.E.
President
TX2 Engineering

CC: File

CM

SECTION 4.4.4.1 COMMERCIAL



- KEY**
- - - Property Line (ROW)
 - A Metrics on This and Facing Page
 - Setbacks
 - Building Footprint

DISTRICT INTENT STATEMENTS

CM is intended to serve as a commercial gateway and to take advantage of proximity to major roadways, therefore the quality and aesthetics of new development is very important. CM should be applied along highway corridors that serve as entrances to downtown or other pedestrian oriented activity areas.

DENSITY

Impervious Cover 80% max.

TRANSPORTATION

Block Perimeter	5,000 ft. max.	Section 3.6.2.1
Streetscape Type	Conventional	Section 3.8.1.7

BUILDING TYPES ALLOWED

Live/ Work	Section 4.4.6.10
General Commercial	Section 4.4.6.12
Mixed Use Shopfront*	Section 4.4.6.13
Civic Building	Section 4.4.6.14
*No Residential on the ground floor	

BUILDING STANDARDS

Principle Building Height	4 stories max.	62 ft. max.
Accessory Structure Height	N/A	24 ft. max.

LOT		
BUILDING TYPE	LOT AREA	LOT WIDTH
Live/ Work	1,100 sq ft min.	15 ft min.
General Commercial	4,000 sq ft min.	40 ft min.
Mixed Use Shopfront	4,000 sq ft min.	40 ft min.
Civic Building	4,000 sq ft min.	40 ft min.

A

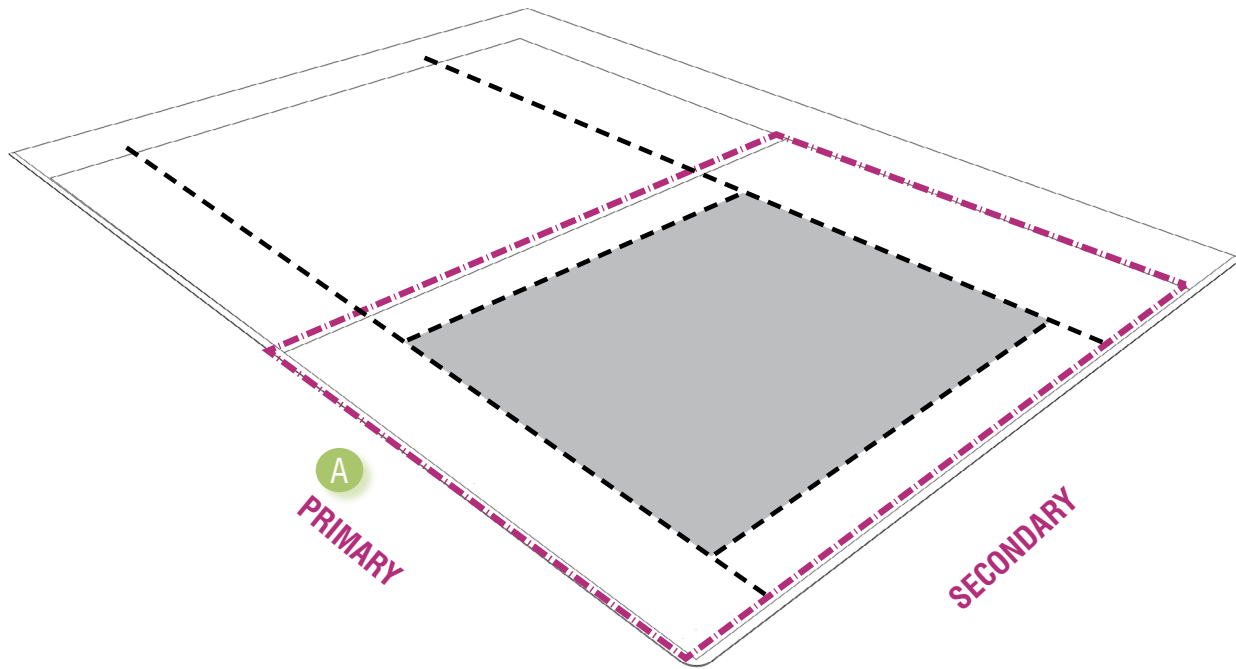
DURABLE BUILDING MATERIAL AND BLANK WALL AREA	
Primary Material	80% min.
Secondary Material	20% max.
Blank Wall Area	35 ft. max.

(Employment Center (EC) renamed Commercial (CM) Ord. No. 2021-47 on 8-3-21)

SETBACKS - PRINCIPAL BUILDING		
Primary Street	10 ft min/ 20 ft max.	
Secondary Street	10 ft min/ 15 ft max.	
Side	5 ft. min.	
Rear	20 ft. min.	
Rear, abutting alley	3 ft. min.	
SETBACKS - ACCESSORY STRUCTURE		
Primary Street	50 ft min.	
Secondary Street	20 ft. min.	
Side	5 ft. min.	
Rear	5 ft. min.	
PARKING LOCATION		
LAYER (SECTION 4.3.3.1)	SURFACE	GARAGE
First Layer	Not Allowed	Not Allowed
Second Layer	Allowed	Not Allowed
Third Layer	Allowed	Allowed
BUILD-TO ZONE (BTZ)		
Building Facade in primary street	50% min.	
Building Facade in secondary street	25% min.	

HC

SECTION 4.4.4.2 HEAVY COMMERCIAL



KEY

- - - Property Line (ROW)
- A Metrics on This and Facing Page
- - - Setbacks
- Building Footprint

DISTRICT INTENT STATEMENTS

HC is intended to accommodate auto oriented and other heavy commercial uses. Development should be operated in a relatively clean and quiet manner, and should not be obnoxious to nearby residential or commercial uses.

DENSITY

Impervious Cover 80% max.

TRANSPORTATION

Block Perimeter	5,000 ft. max	Section 3.6.2.1
Streetscape Type	Conventional	Section 3.8.1.7

BUILDING TYPES ALLOWED

General Commercial	Section 4.4.6.12
Civic Building	Section 4.4.6.14

BUILDING STANDARDS

Principle Building Height	4 stories max.	62 ft. max.
Accessory Structure Height	N/A	24 ft. max.

LOT

BUILDING TYPE	LOT AREA	LOT WIDTH
General Commercial	6,000 sq ft min	60 ft min.
Civic Building	6,000 sq ft min	60 ft min.

A

SETBACKS - PRINCIPAL BUILDING

Primary Street	20 ft min.
Secondary Street	20 ft min.
Side	5 ft min.
Rear	20 ft min.

SETBACKS - ACCESSORY STRUCTURE

Primary Street	20 ft. min.
Secondary Street	20 ft. min.
Side	5 ft. min.
Rear	5 ft. min.

PARKING LOCATION

LAYER (SECTION 4.3.3.1)	SURFACE	GARAGE
First Layer	Allowed	Allowed
Second Layer	Allowed	Allowed
Third Layer	Allowed	Allowed

DURABLE BUILDING MATERIAL AND BLANK WALL AREA

Primary Material	80% min.
Secondary Material	20% max.
Blank Wall Area	50 ft. max.

TABLE 5.1 LAND USE MATRIX

TYPES OF LAND USES	CONVENTIONAL RESIDENTIAL				NEIGHBORHOOD DENSITY DISTRICTS					CHARACTER DISTRICTS						SPECIAL DISTRICTS					DEFINITION USE STANDARDS	
	FD	SF-R	SF-6	SF-4.5	ND-3	ND-3.2	ND-3.5	ND-4	N-CM	CD-1	CD-2	CD-2.5	CD-3	CD-4	CD-5	CD-5D	HC	LI	HI	MH		CM
Mobile Home Community / Manufactured Home Park / Tiny Home Village	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	P	--	Section 5.1.4.1
Community Home	L	L	L	L	L	L	L	P	P	--	P	L	P	P	P	P	--	--	--	L	--	Section 5.1.4.12
Fraternity or Sorority Building	--	--	--	--	--	--	--	C	C	--	--	--	--	C	P	P	--	--	--	--	--	Section 5.1.4.12
COMMERCIAL USES																						
Professional Office	--	--	--	--	--	--	--	L	P	--	--	--	--	L	P	P	P	P	--	--	P	Section 5.1.5.1
Medical, except as listed below:	--	--	--	--	--	--	--	L	P	--	--	--	--	L	P	P	P	--	--	--	P	Section 5.1.5.2
Urgent care, emergency clinic, or hospital	--	--	--	--	--	--	--	--	P	--	--	--	--	--	P	P	P	P	--	--	P	Section 5.1.5.2
Nursing/ retirement home	--	--	--	--	--	--	--	P	P	--	--	--	--	P	P	P	P	--	--	--	P	Section 5.1.5.2
Personal Services, except as listed below:	--	--	--	--	--	--	--	L	P	--	--	--	--	L	P	P	P	--	--	--	P	Section 5.1.5.3
Animal care (indoor)	C	--	--	--	--	--	--	--	P	--	--	--	--	--	P	P	P	--	--	--	P	Section 5.1.5.3
Animal care (outdoor)	C	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	--	C	Section 5.1.5.3
Funeral Home	--	--	--	--	--	--	--	--	C	--	--	--	--	--	C	C	P	--	--	--	P	Section 5.1.5.3
Adult Oriented Businesses	See Section 18, Article 6 of the City Code																					
All Retail Sales, except as listed below:	--	--	--	--	--	--	--	L	P	--	--	--	--	L	P	P	P	--	--	--	P	Section 5.1.5.4
Gasoline Sales	--	--	--	--	--	--	--	--	L	--	--	--	--	--	C	C	P	--	--	--	C	Section 5.1.5.4
Truck stop	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	L	--	--	--	--	Section 5.1.5.4
Tattoo, body piercing	--	--	--	--	--	--	--	C	C	--	--	--	--	C	P	P	P	--	--	--	P	Section 5.1.5.4
Building material sales	--	--	--	--	--	--	--	--	C	--	--	--	--	--	C	C	P	P	P	--	P	Section 5.1.5.4
Vehicle Sales/ Rental	--	--	--	--	--	--	--	--	C	--	--	--	--	--	C	C	P	--	--	--	P	Section 5.1.5.4
Pawnshop	--	--	--	--	--	--	--	--	C	--	--	--	--	C	P	P	P	--	--	--	P	Section 5.1.5.4
Restaurant/ Bar, as listed below:																						
Eating Establishment	--	--	--	--	--	--	--	L	P	--	--	--	--	L	P	P	P	--	--	--	P	Section 5.1.5.5
Bar	--	--	--	--	--	--	--	--	C	--	--	--	--	--	C	C	C	--	--	--	C	Section 5.1.5.5
Mobile Food Court	--	--	--	--	--	--	--	--	C	--	--	--	--	--	P	P	--	--	--	--	--	Section 5.1.5.5

LEGEND							
P	Permitted Use	L	Limited Use	C	Conditional Use	--	Uses Not Permitted

8" WASTEWATER LINE B TIE IN

5149 - 5211 SOUTH INTERSTATE 35

SAN MARCOS, TEXAS

PICP: PERMIT # 2019-28429

PROJECT ADDRESS:

THIS PROJECT IS LOCATED ALONG THE SOUTH INTERSTATE 35 FRONTAGE ROAD FROM APPROXIMATELY 5149 - 5211 ADDRESS BLOCK IN SAN MARCOS, TX IN HAYS COUNTY.

FLOODPLAIN:

A PORTION OF THIS PROJECT FALLS WITHIN THE 100 YEAR FLOODPLAIN AS SHOWN ON THE HAYS COUNTY FEMA FIRM MAPS 48055C0075E EFFECTIVE JUNE 19, 2012 AND 48209C0388F EFFECTIVE AS OF SEPTEMBER 2, 2005.

AQUIFER NOTE:

THIS PROJECT IS NOT IN THE EDWARDS AQUIFER RECHARGE ZONE.

GENERAL NOTES:

1. CONTRACTOR SHALL CALL (512) 353-7728 FOR ALL CITY OF SAN MARCOS INSPECTIONS.
2. RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, THE CITY OF SAN MARCOS MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
3. THIS PROJECT IS SUBJECT TO T.P.D.E.S. REGULATIONS.
4. ALL CONSTRUCTION SHOULD COMPLY WITH CITY OF SAN MARCOS STANDARD SPECIFICATIONS.
5. ALL CONSTRUCTION SHOULD COMPLY WITH CITY OF SAN MARCOS CONSTRUCTION DETAILS AND CONSTRUCTION NOTES FOR MATERIAL AND INSTALLATION GUIDELINES.
6. THIS PROJECT IS SUBJECT TO TPDES REGULATIONS.
7. CONTRACTOR SHALL CEASE CONSTRUCTION AND NOTIFY THE CITY OF SAN MARCOS, TEXAS SHPO, AND STATE ARCHAEOLOGIST IF IN SITU CULTURAL DEPOSITS ARE ENCOUNTERED.
8. IF A CITY INSPECTOR FOR CITY INFRASTRUCTURE DETERMINES A DETAIL IS MISSING FROM THE PLAN, THE MOST CURRENT CITY DETAIL FOUND ON THE CITY WEB PAGE WILL APPLY TO THE PERMIT.
9. CITY SPECIFICATIONS, AT TIME OF PLAN APPROVAL, WILL APPLY TO THIS DEVELOPMENT.

BENCHMARK LIST:

VERTICAL DATUM NAVD88 (GEOID 12A)

BM 005524_53 (AKA TRACE PROJECT BM 070091_53):
MAG NAIL SET IN CONCRETE WEIR LOCATED ALONG EAST RIGHT-OF-WAY OF I-35, APPROX. 40 FEET SOUTH OF THE NORTHWEST CORNER OF THE CALLED 85 ACRE TRACT.
ELEVATION = 647.29'

BM 005524_672:
COTTON GIN SPINDLE SET IN WOOD UTILITY POLE LOCATED ALONG EAST RIGHT-OF-WAY OF I-35, APPROX. 370 FEET NORTH OF THE SOUTHWEST CORNER OF THE CALLED 85 ACRE TRACT.
ELEVATION = 659.87'

BM 005524_3939:
COTTON GIN SPINDLE SET IN MULTI-TRUNK HUISACHE TREE, TAG NO. 8568, LOCATED ALONG SUBJECT TRACT'S NORTH PROPERTY LINE, APPROX. 475 FEET EAST OF THE NORTHWEST CORNER OF THE CALLED 85 ACRE SUBJECT TRACT.
ELEVATION = 660.96'

BM 005524_3941:
SQUARE CUT ON CONCRETE GAS VALVE, LOCATED ALONG SUBJECT TRACT'S NORTH PROPERTY LINE, APPROX. 1450 FEET EAST OF THE NORTHWEST CORNER OF THE CALLED 85 ACRE SUBJECT TRACT.
ELEVATION = 657.17'

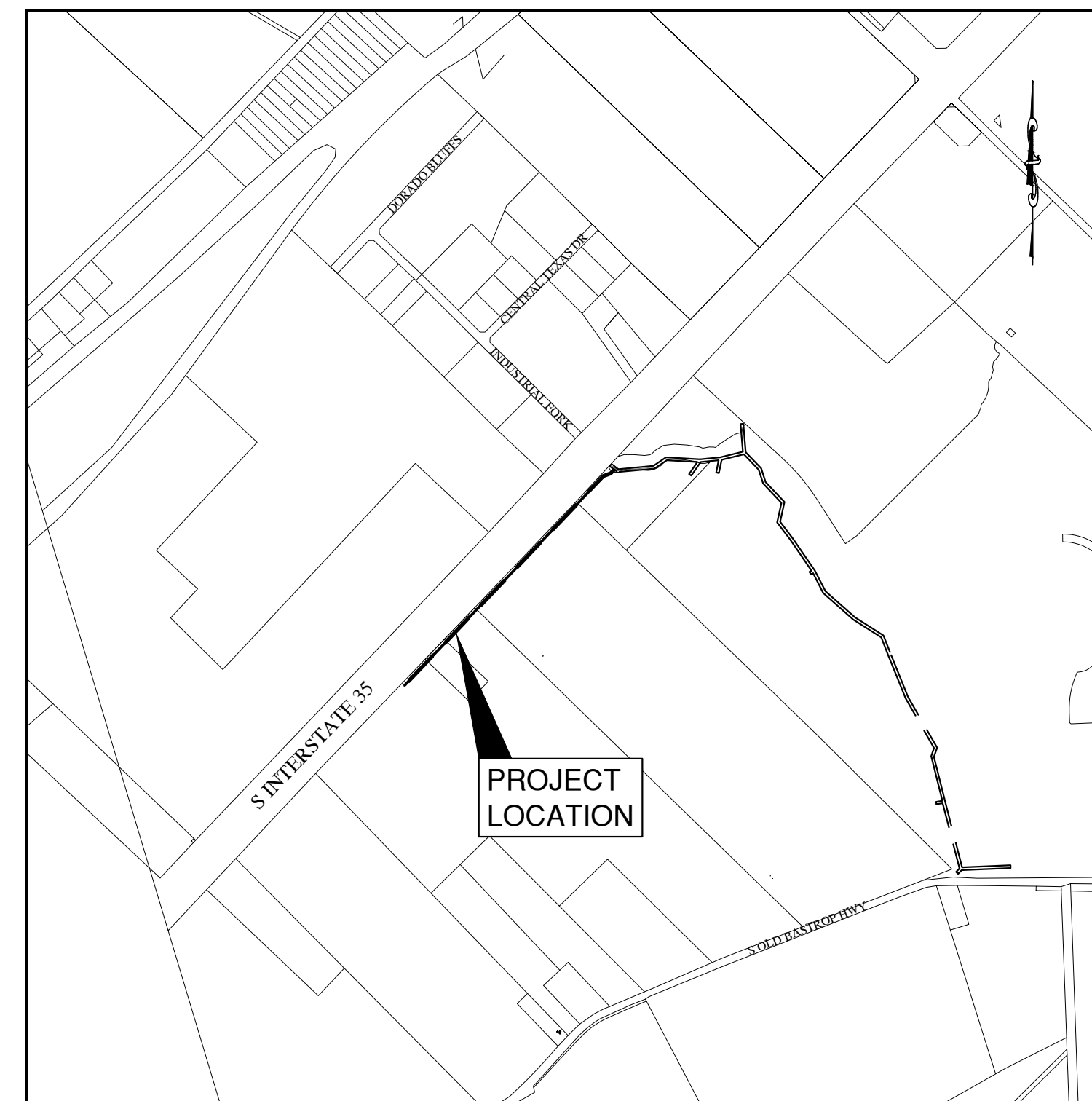
BM 005524_2412:
SQUARE CUT ON CONCRETE HEADWALL, LOCATED ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF OLD BASTROP ROAD, APPROX. 168 FEET EAST OF THE NORTHEAST CORNER OF THE CALLED 85 ACRE SUBJECT TRACT.
ELEVATION = 610.34'

BM 005524_3942:
COTTON GIN SPINDLE SET LOCATED ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF OLD BASTROP ROAD, APPROX. 22 FEET EAST OF THE SOUTHEAST CORNER OF THE CALLED 85 ACRE SUBJECT TRACT.
ELEVATION = 629.91'

BM 005524_2411:
COTTON GIN SPINDLE SET IN WOOD UTILITY POLE LOCATED IN THE INTERIOR OF THE CALLED 85 ACRE SUBJECT TRACT.
ELEVATION = 676.02'

SEQUENCE OF CONSTRUCTION

1. OBTAIN CITY APPROVED SITE PREPARATION PLANS, AND TPDES/SWPPP PERMIT (NOT A COPY OF THE TPDES APPLICATION TO TCEQ), IF APPLICABLE.
2. INSTALL TEMPORARY EROSION AND SEDIMENTATION CONTROLS.
3. SCHEDULE PRE-CON MEETING WITH CITY OF SAN MARCOS.
4. BEGIN DEMOLITION ACTIVITIES, IF APPLICABLE.
5. BEGIN SITE CLEARING AND GRADING.
6. INSTALL TEMPORARY SED POND AS APPROPRIATE.
7. RESTORE AND REVEGETATE ALL DISTURBED AREAS NOT UNDER IMPERMEABLE IMPROVEMENTS.
8. COMPLETE ANY REMAINING "PUNCH LIST" ITEMS.
9. CITY OF SAN MARCOS FINAL INSPECTION.
10. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROLS AFTER PERMANENT STABILIZATION IS AT LEAST 70% EVENLY ESTABLISHED. RYE IS NOT ACCEPTED.
11. CITY ISSUES CERTIFICATE OF ACCEPTANCE OR OCCUPANCY.



SITE LOCATION
SCALE: 1" = 1000'

OWNER:
LAS COLINAS SAN MARCOS, PHASE 1
16238 RR 620 #F-126
Austin, Texas 78717
[Tel] 512-838-1660

ENGINEER:
BOWMAN CONSULTING GROUP, LTD
1120 S. Capital of Texas Hwy,
Building 3, Suite 220
Austin, Texas 78746
[Tel] 512.327.1180
[Fax] 512.327.4062

SURVEYOR:
BOWMAN CONSULTING GROUP, LTD
1120 S. Capital of Texas Hwy
Building 3, Suite 220
Austin, Texas 78746
[Tel] 512.327.1180
[Fax] 512.327.4062



TBPE Firm Registration No. F-14309

Sheet List Table

- 1 COVER SHEET
- 2 GENERAL NOTES
- 3 EXISTING CONDITIONS & EROSION & SEDIMENTATION CONTROL PLAN
- 4 WASTEWATER LINE B PLAN
- 5 PLAN & PROFILE: WASTEWATER LINE B, STA: 1+00 - 11+75
- 6 PLAN & PROFILE: WASTEWATER LINE B, STA: 11+75 - END
- 7 CONSTRUCTION DETAILS

EMERGENCY CONTACT INFORMATION:

CITY OF SAN MARCOS DEPARTMENT OF ENVIRONMENT & ENGINEERING 512-393-8130
CITY OF SAN MARCOS ENGINEERING INSPECTION SERVICES 512-353-7728
CITY OF SAN MARCOS WATER/WASTEWATER UTILITIES 512-393-8010
FEDERNALES ELECTRIC COOPERATIVE 888-554-4732
AT&T (TELEPHONE UTILITY) 866-656-1630
SPECTRUM (CABLE UTILITY) 855-243-8892
CENTERPOINT ENERGY (NATURAL GAS) 800-376-9663

REVISIONS / CORRECTIONS

NUMBER	DESCRIPTION	REVISE (R) ADD (A) VOID (V) SHEET NO.'S	TOTAL # SHEETS IN PLAN SET	NET CHANGE IMPERVIOUS COVER (SQ. FT.)	TOTAL IMPERVIOUS COVER (SQ. FT.)%	CITY OF SAN MARCOS APPROVAL DATE	DATE IMAGED
1	WASTEWATER LINE REALIGNMENT, EROSION CONTROL REVISIONS FOR WW REALIGNMENT	(R) 1, 3-6	7	NA	NA		4/29/20

SUBMITTED FOR APPROVAL BY:



TIRSO GONZALEZ, P.E. (# 123344)

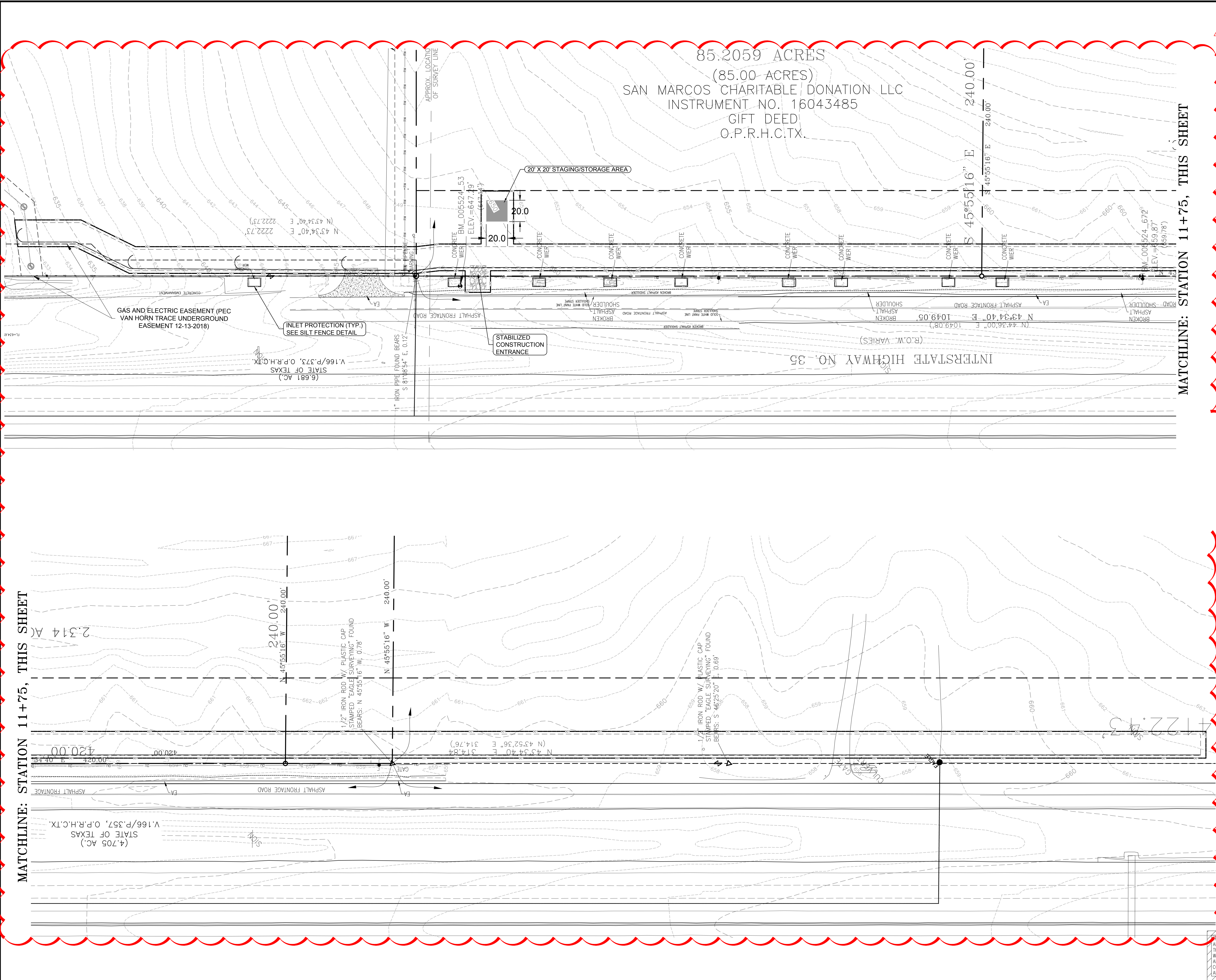
DATE



P:\005524 - las colinas san marcos\engineering\plans\construction\plan\ww\picp_line_b.mxd (005524_02-001.dwg) - las colinas san marcos\engineering\plans\construction\plan\ww\picp_line_b.mxd (005524_02-001.dwg) - las colinas san marcos\engineering\plans\construction\plan\ww\picp_line_b.mxd (005524_02-001.dwg) - las colinas san marcos\engineering\plans\construction\plan\ww\picp_line_b.mxd (005524_02-001.dwg)

8" WASTEWATER LINE B TIE IN
P.L.C.P. PERMIT #2019-28429
CONSTRUCTION PLANS

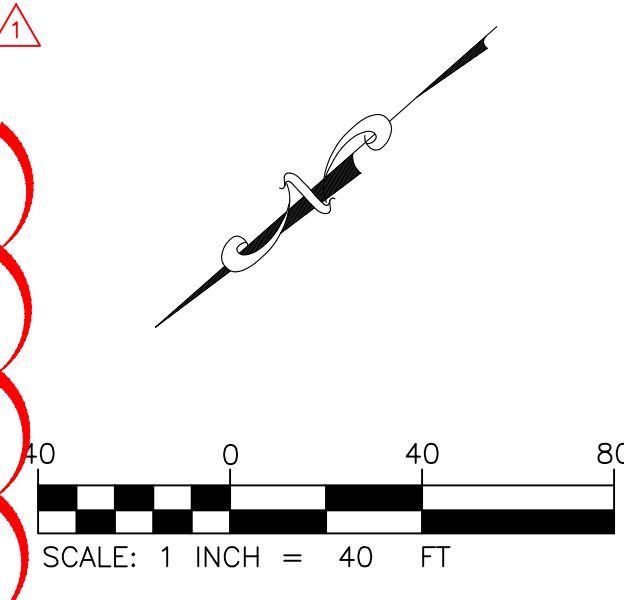
P:\050524 - San Marcos San Marcos Charitable Donation LLC - 114.cad\114.san marcos charitable donation llc\esc\114-esc\114-esc.dwg EXISTING CONDITIONS & ESC - April 29, 2020, 6:23 PM, jgonzalez



85.2059 ACRES
(85.00 ACRES)
SAN MARCOS CHARITABLE DONATION LLC
INSTRUMENT NO. 16043485
GIFT DEED
O.P.R.H.C.TX.

MATCHLINE: STATION 11+75, THIS SHEET

MATCHLINE: STATION 11+75, THIS SHEET



LEGEND

- BOUNDARY LINE
- PROPOSED R.O.W.
- LOT LINE
- EASEMENT LINE
- SILT FENCE
- LIMIT OF CONSTRUCTION
- CONSTRUCTION FENCE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- FLOW DIRECTION
- TREE TO REMAIN
- TREE TO BE REMOVED
- SPECIMEN TREE TO REMAIN
- SPECIMEN TREE TO BE REMOVED
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED ROCK BERM
- STAGING AND STORAGE AREA

E.S.C. SUMMARY

LIMITS OF CONSTRUCTION	1.30 AC
SILT FENCE	3,125 LF
CONSTRUCTION FENCE	.XXX LF
TREE PROTECTION FENCING	.XXX LF
ROCK BERM 25'	X EACH
ROCK BERM 20'	X EACH

NOTE:
1. SILT FENCE MUST BE INSTALLED PERPENDICULAR TO THE DIRECTION OF THE FLOW, OR ELSE PROVIDE J-HOOKS.

Bowman CONSULTING
 Bowman Consulting Group, Ltd.
 TBPE Firm Registration No. F-14309
 1120 S. Capital of Texas Hwy
 Bldg. 3, Suite 210
 Austin, Texas 78746
 Phone: (512) 927-1180
 Fax: (512) 927-4882
 www.bowmanconsulting.com

REVISION	DATE	DESCRIPTION

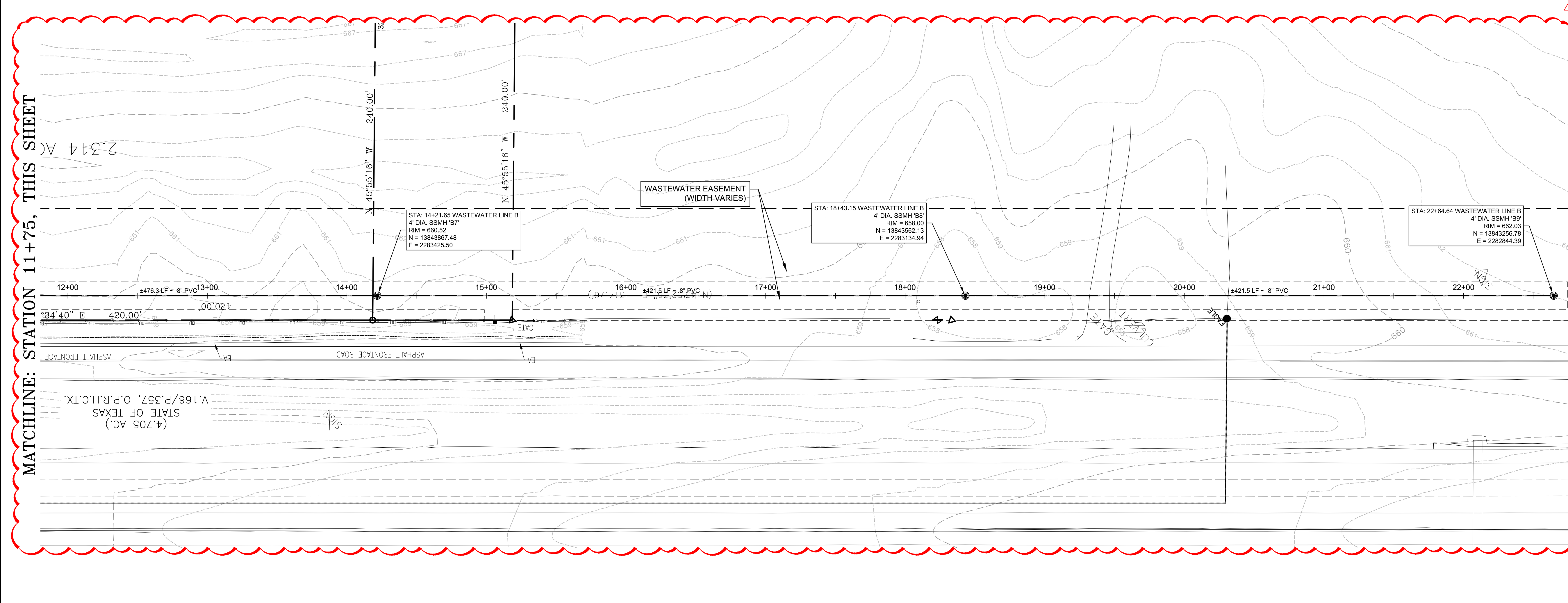
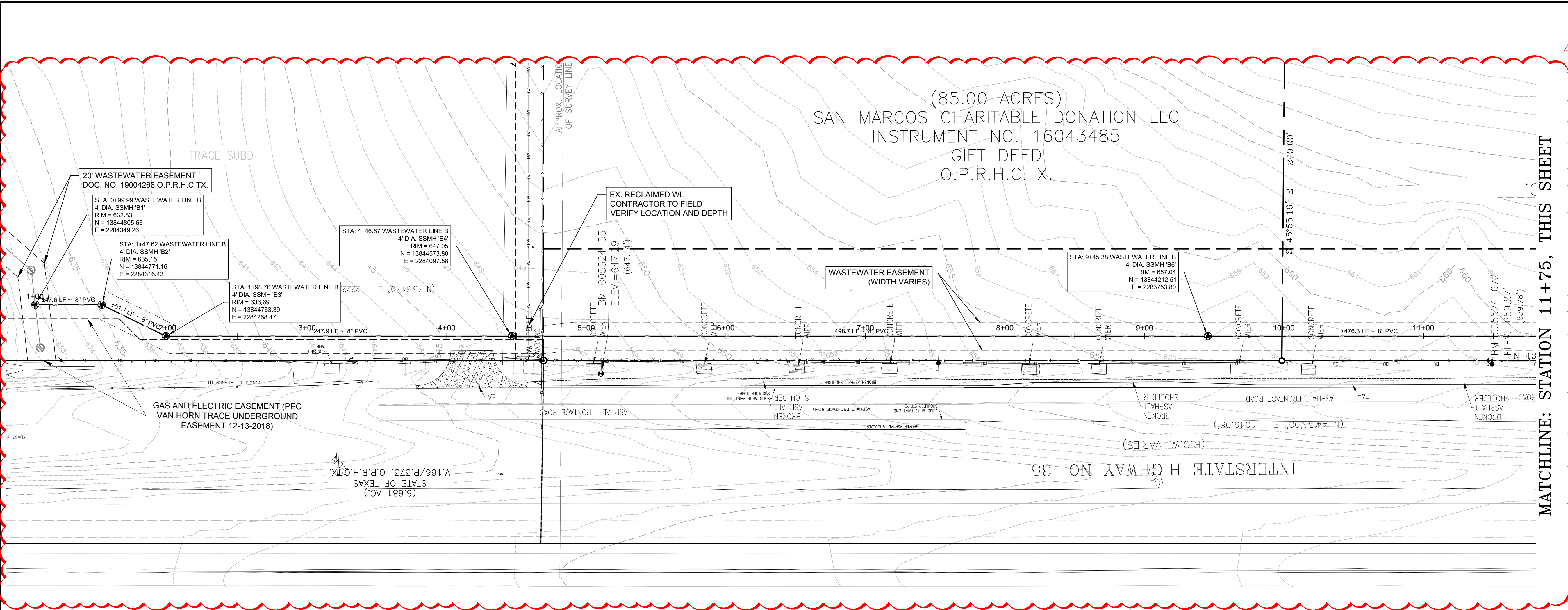
EXISTING CONDITIONS & EROSION
& SEDIMENTATION CONTROL PLAN
 8" WASTEWATER LINE B TIE IN - P.I.C.P. PERMIT # 2019-28429
 5149 - 5211 SOUTH INTERSTATE 35
 SAN MARCOS, TEXAS 78666

RELEASED FOR
CONSTRUCTION

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DESIGN	DRAWN	CHKD
FA	DWC	TG
JOB No.	005524-02-002	
SHEET	3 OF 7	

P:\00524 - In Collins San Marcos\00524-02-001 (reg) - In Collins San Marcos\engineering\plans\construction\planview\p11+75_WWP-VWPICP.dwg, WASTEWATER LINE B PLAN, April 29, 2020, 8:24 PM, ltrnsalar



LEGEND

- BOUNDARY LINE
- PROPOSED R.O.W.
- LOT LINE
- EASEMENT LINE
- BUILDING LINE
- CURB AND GUTTER
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- WATER LINE
- WASTEWATER LINE
- STORMSEWER LINE
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- FIRE HYDRANT
- IRRIGATION METER
- WATER LINE FITTINGS
- GATE VALVE
- REDUCER
- AIR RELEASE VALVE
- CLEAN OUT
- WASTEWATER MANHOLE
- SINGLE WASTEWATER SERVICE
- DOUBLE WASTEWATER SERVICE
- STORMSEWER MANHOLE
- STORMSEWER CURB INLET
- STORMSEWER HEADWALL
- TREE TO REMAIN
- TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED

Bowman CONSULTING

1120 S. Capital of Texas Hwy
Bldg 3, Suite 220
Austin, Texas 78746

Phone: (512) 927-1180
Fax: (512) 927-4982
www.bowmanconsulting.com

REVISION	DATE	DESCRIPTION

WASTEWATER LINE B PLAN

8" WASTEWATER LINE B TIE IN - P.I.C.P. PERMIT # 2019-28429
5149 - 5211 SOUTH INTERSTATE 35
SAN MARCOS, TEXAS 78666

RELEASED FOR CONSTRUCTION

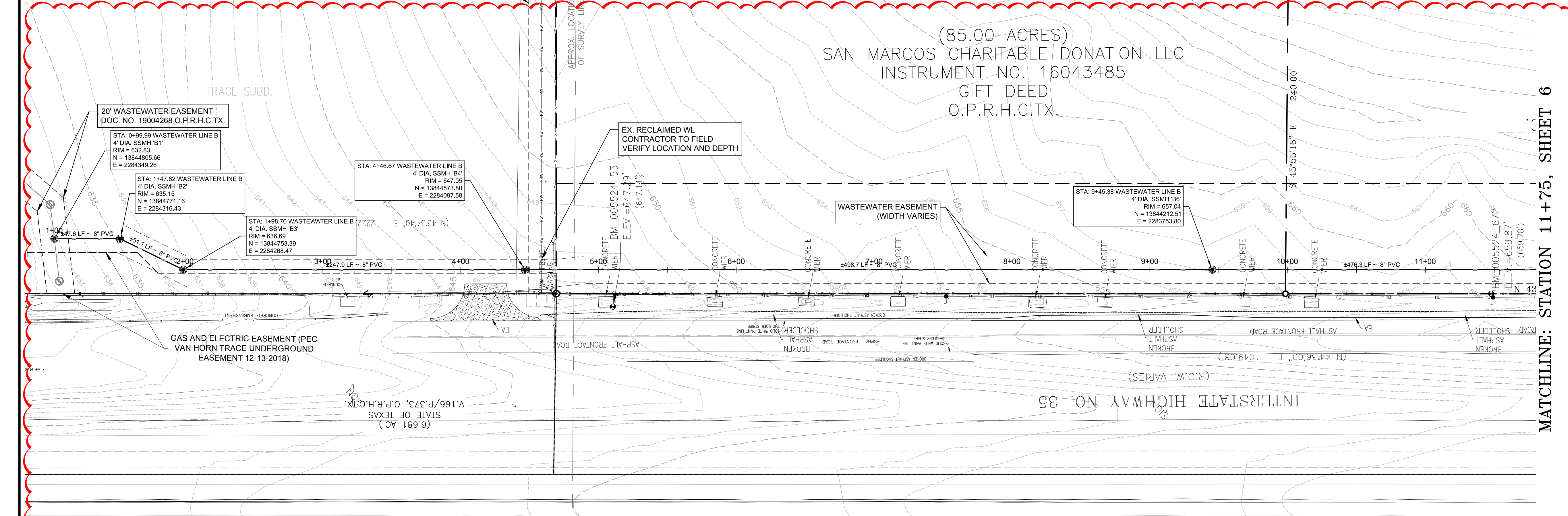
811

Know what's below. Call before you dig.

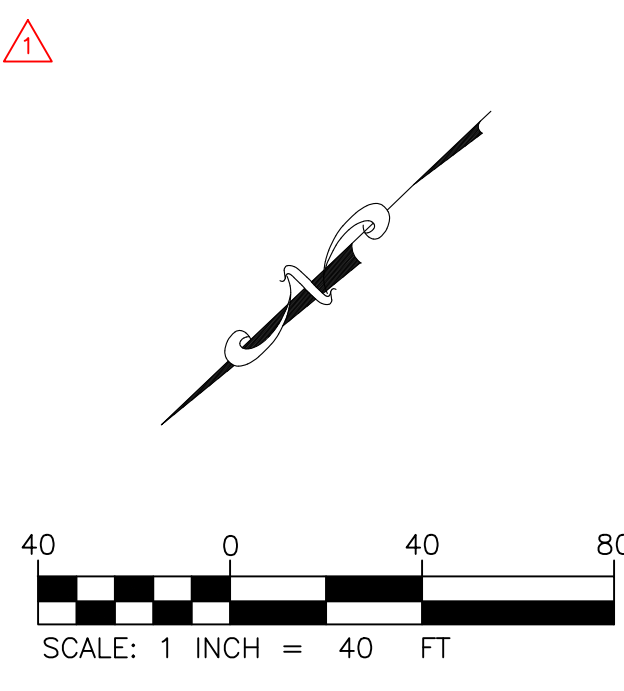
TIRSO E. GONZALEZ
123344
LICENSED PROFESSIONAL ENGINEER
4/29/2020

DESIGN	FA	DRAWN	DWC	CHKD	TG
JOB No.	005524-02-002				
SHEET	4 OF 7				

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



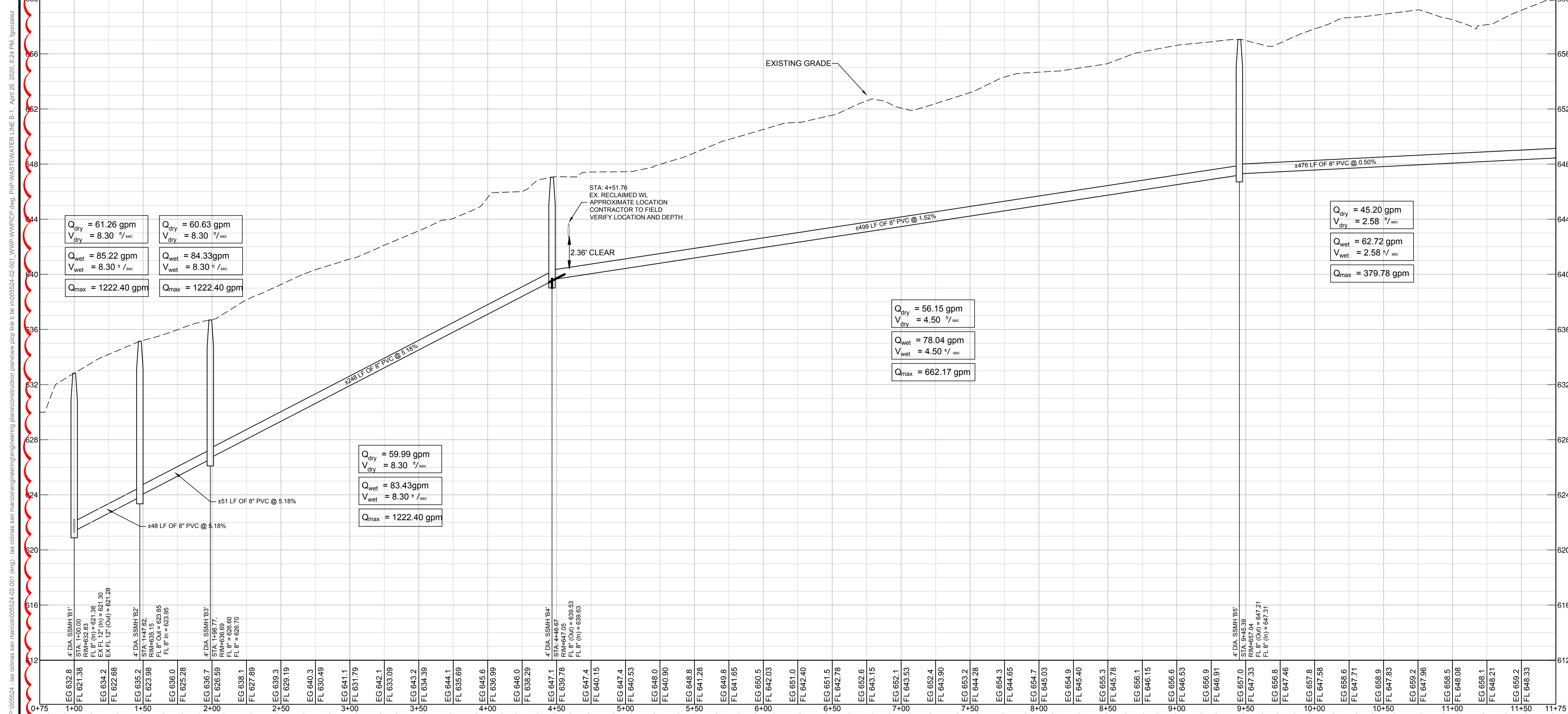
(85.00 ACRES)
 SAN MARCOS CHARITABLE DONATION LLC
 INSTRUMENT NO. 16043485
 GIFT DEED
 O.P.R.H.C.T.X.



LEGEND

	BOUNDARY LINE PROPOSED R.O.W.
	LOT LINE
	EASEMENT LINE
	BUILDING LINE
	CURBS AND GUTTER
	EXISTING 1 ft CONTOUR
	EXISTING 5 ft CONTOUR
	PROPOSED 1 ft CONTOUR
	PROPOSED 5 ft CONTOUR
	WATER LINE
	WASTEWATER LINE
	STORMSEWER LINE
	SINGLE WATER SERVICE
	DOUBLE WATER SERVICE
	FIRE HYDRANT
	IRRIGATION METER
	WATER LINE FITTINGS
	GATE VALVE
	REDUCER
	AIR RELEASE VALVE
	CLEAN OUT
	WASTEWATER MANHOLE
	SINGLE WASTEWATER SERVICE
	DOUBLE WASTEWATER SERVICE
	STORMSEWER MANHOLE
	STORMSEWER CURB INLET
	STORMSEWER HEADWALL
	TREE TO REMAIN
	TREE TO BE REMOVED
	SPECIMEN TREE TO BE REMOVED
	SPECIMEN TREE TO BE REMOVED

WASTEWATER LINE B



RELEASED FOR CONSTRUCTION

Bowman CONSULTING
 © Bowman Consulting Group, Ltd. F. 14309
 1120 S. Capital of Texas Hwy
 Bldg. 3, Suite 210
 Austin, Texas 78746
 Phone: (512) 927-1180
 Fax: (512) 927-4892
 www.bowmanconsulting.com

REVISION	DATE	DESCRIPTION

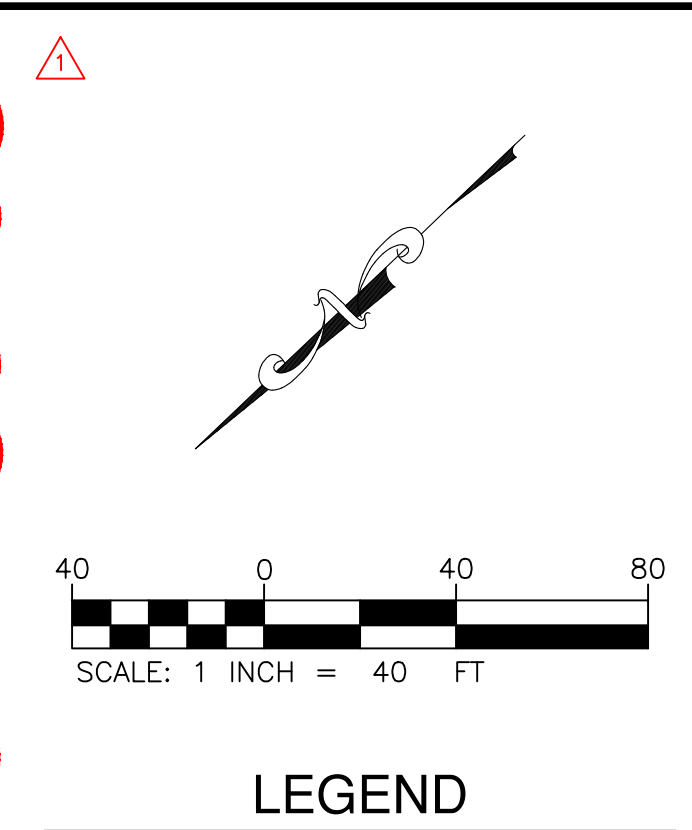
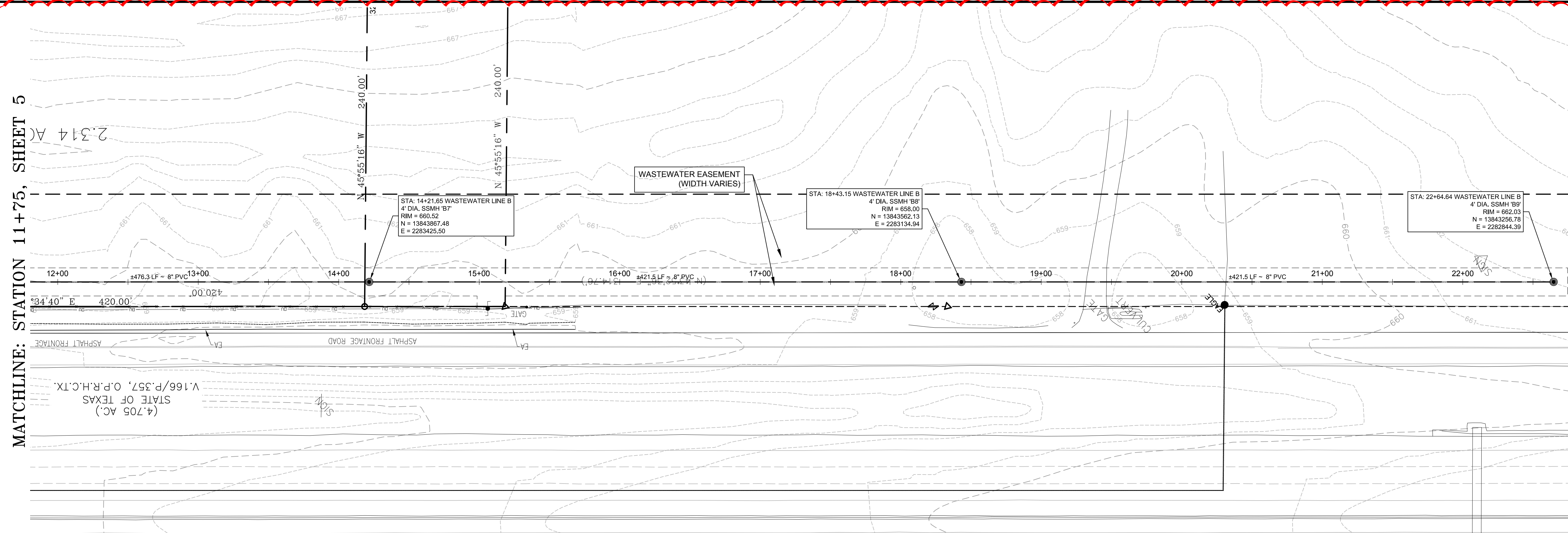
PLAN & PROFILE: WASTEWATER LINE B,
 STA: 1+00 - 11+75
 8" WASTEWATER LINE B TIE IN - P.I.C.P. PERMIT # 2019-28429
 5149 - 5211 SOUTH INTERSTATE 35
 SAN MARCOS, TEXAS 78666

TIRSO E. GONZALEZ
 123344
 LICENSED PROFESSIONAL ENGINEER
 4/21/2020

DESIGN: FA DRAWN: DWC CHECKED: TG
 JOB No. 005524-02-002
 SHEET 5 OF 7

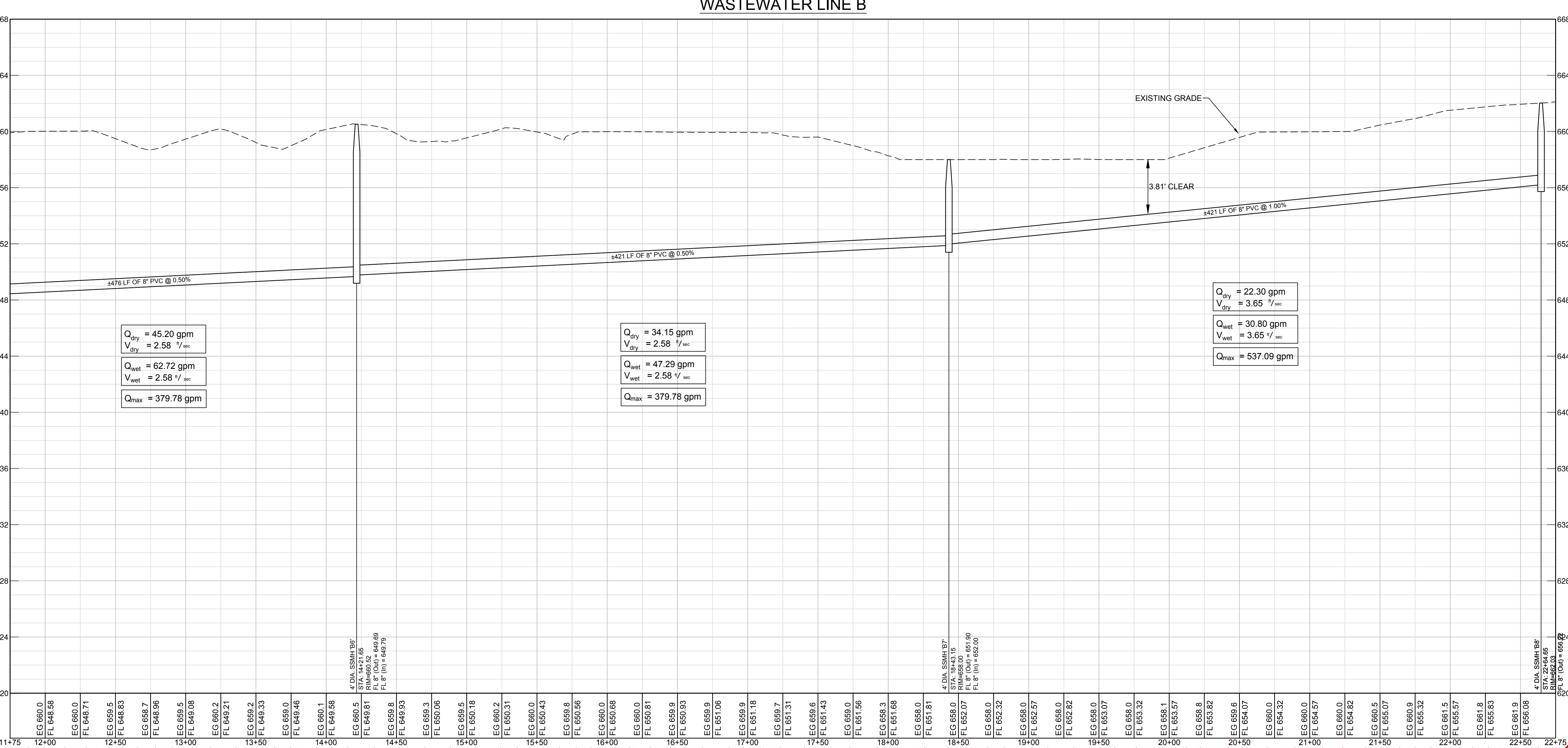
P:\05524 - In. colinas san marcos\05524-02-001 (reg) - las colinas san marcos\engineering\plans\construction\planview\pvc line b tie in\05524-02-001_WWP-WWTPCP.dwg P:\P-WASTEWATER LINE B-1 April 20, 2020, 6:24 PM agonzalez

P:\05024 - In. colinas san marcos\05024-02-001 (reg) - las colinas san marcos\engineering\plans\construction\planview\pwp-wastewater\pwp-wastewater-line-b-2.dwg, April 20, 2020, 6:24 PM, gonzalez



LEGEND

- BOUNDARY LINE
- PROPOSED R.O.W.
- LOT LINE
- EASEMENT LINE
- BUILDING LINE
- CURB AND GUTTER
- EXISTING 5 ft CONTOUR
- EXISTING 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- WATER LINE
- WASTEWATER LINE
- STORMSEWER LINE
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- FIRE HYDRANT
- IRRIGATION METER
- WATER LINE FITTINGS
- GATE VALVE
- REDUCER
- AIR RELEASE VALVE
- CLEAN OUT
- WASTEWATER MANHOLE
- SINGLE WASTEWATER SERVICE
- DOUBLE WASTEWATER SERVICE
- STORMSEWER MANHOLE
- STORMSEWER CURB INLET
- STORMSEWER HEADWALL
- TREE TO REMAIN
- TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED
- SPECIMEN TREE TO BE REMOVED



Bowman CONSULTING

1120 S. Capital of Texas Hwy
Bldg 3, Suite 210
Austin, Texas 78746

Phone: (512) 327-1180
Fax: (512) 327-4882
www.bowmanconsulting.com

REVISIONS

REVISION	DATE	DESCRIPTION

**PLAN & PROFILE: WASTEWATER LINE B,
STA: 11+75 - END**

8" WASTEWATER LINE B TIE IN - P.I.C.P. PERMIT # 2019-28429
5149 - 5211 SOUTH INTERSTATE 35
SAN MARCOS, TEXAS 78666

RELEASED FOR CONSTRUCTION

811
Know what's below.
Call before you dig.

TIRSO E. GONZALEZ
123344
LICENSED PROFESSIONAL ENGINEER
4/21/2020

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

DESIGN DRAWN CHKD
FA DWC TG

JOB No. 005524-02-002

SHEET 6 OF 7